

REPORT FOR INDEPENDENT INSPECTOR

29 Howard Drive

1. Matter for Consideration

- 1.1 The applicant subject of this appeal sought a ground floor front extension, following demolition of original porch

2. Background

- 2.1 The subject property is a leasehold property built c1960. The surrounding area is designated as Modern Character Area.
- 2.2 Whilst not a Home of Special Interest, the house design and grouping of nos. 23 – 31 is part of a run of houses. Nos. 03 – 55 is one of the last designs by the renowned architect C M Crickmer. A copy of his original design can be found at **Appendix B**.
- 2.3 The property has been the subject of the following applications:

Ref number	Proposal	Decision
35007	Ground floor front extension, front porch, ground floor rear extension plus extension to rear of garage.	Refused 12 August 2019
35295	Ground floor front & rear extensions & extension to rear of garage	Refused 19 October 2019
35424	Part two storey, part ground floor rear extensions plus part demolition of and rear extension to garage	Approved 18 November 2019
35425	Ground floor front extension, following demolition of original porch	Refused 18 November 2019
36045	Single storey front extension (revised scheme)	Withdrawn 25 June 2020

- 2.4 Planning Permission was granted from North Hertfordshire District Council on 19/02933/FPH 10th February 2020 for a part single and part two storey rear extension. A revised scheme for a single storey rear extension to existing detached garage following part demolition of front section of garage was granted a conditional permission 15th July 2020.

- 2.5 Photographs are available in **Appendix A**.

- 2.6 A3 format copies of the drawings for the proposals, are available in **Appendix B**
- 2.7 The HAT minutes and refusal letter are at **Appendix C**
- 2.8 AMC report, Chair's memo and refusal letter are available at **Appendix D**

3. Application

- 3.1 The application before you, proposes a single storey front extension 3555mm deep and 7985mm wide with a partial flat roof part sloped roof to tuck underneath the first-floor windows, with materials to match the host building.
- 3.2 The property has been the subject of several applications for rear and front extensions over the last 12 months. The application 35295 was as 35007 but omitted the front porch.
- 3.3 The application 35424 omitted the front alterations, as recommended on the previous refusals.
- 3.4 The application 35425 was for a front extension only. It should be noted that the approved rear extensions are not indicated on the plans. The approved rear extensions should be taken into account when reviewing the front extension proposals as this is considered overdevelopment by the HAS team.
- 3.5 Following the refusal of the application before you, a further application was submitted 36045 for a reduced front extension following pre-application advice. The applicant was advised that a reduced front extension tucked into the original gable of the No.31 would be acceptable. A slightly larger extension was submitted and the application was due to be decided by HAC but the applicant withdrew this to concentrate on her appeal to the Independent Inspector.
- 3.6 A request for the Independent Inspector was received via email on 10th June 2020.

4. Scheme of Management and the Design Principles

- 4.1 The Scheme of Management under the Leasehold Reform Act 1967 in the covenants section at point 6 states:

Restriction on further development

6. Any owner shall not carry out any development redevelopment or alteration materially affecting external appearance of the enfranchised property or of any building or structure thereon save with the written consent of the Corporation (which shall not be unreasonably withheld) and in accordance with plans drawings and specifications previously submitted to and approved by the Corporation.

Any such development redevelopment or alteration shall be made in accordance with the approved plans drawings and specifications and shall be carried out in a good substantial and workmanlike manner with sound and proper materials.

- 4.2 The Design Principles for the Modern Character Area for front extensions states:

Adding elements, including extensions, to these façades can have an impact on

this attractive street scene, particularly on terraced and semi-detached houses.

These proposals will therefore be carefully considered as they can detract from the architectural value of the original and alter the relationship within a group of houses by:

- *creating an unsightly or unduly prominent form of development;*
- *disrupting the uniformity of the front building line;*
- *disrupting the coherence of a group of semi-detached or terraced houses;*
- *diluting the ‘group value’ of a run or cluster of houses.*

This is particularly the case with first floor extensions, which can have a serious impact on the original character of the house and the street scene.

Front extensions are discouraged

It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.

The area and volume of the proposed extension shall be subservient to and in

proportion with the host building, plot and street scene.

- *The design of front extensions shall relate well with the original and neighbouring houses and their context.*

5. Issues

- 5.1 The proposal to extend this semi-detached property with a single storey front extension has been considered by the HAS, the AMC and the Chair of the HAC/LGCHF.
- 5.2 The host building has been the subject of several applications for rear and front extensions and consent has been granted for a part two storey and single storey rear extension. The approved plans are provided in **Appendix B**.
- 5.3 The concern of the team has been twofold; overdevelopment of the host building which is a 3-bedroom semi-detached property as well as an oversized and contrived design for the front extension.
- 5.4 Whilst there is no objection to the principle of a front extension as there are other examples within the vicinity albeit some poorer examples dating from pre 2015. It is contended that the design and proportions of the proposal

are contrived and overbearing and will impact on the host building as well as the streetscene.

- 5.5 The key issues which this application raises are as follows:
- The poor roof design
 - The property forms part of a run of houses by C M Crickmer which forms a grouping with two bookend semi-detached houses. The grouping is important to the streetscene.
 - Loss of the original porch
 - The applicant has successfully been granted consent for a part two storey extension which provides additional accommodation.
 - The combination of the existing approved rear extension with this proposal would significantly increase the mass of the building and would be overdevelopment of the host building which is a 3-bedroom semi-detached property.
 - The HAS have consistently advised that a single storey front extension which tucks into the gable end of the adjoined semi no 31 would be considered favourably.
- 5.6 In its current form, the depth of the proposed extension results in a poorly designed roofline. The Design Principles are clear where they state that the roofline should match the original and with a reduction in depth, this concern could be easily overcome.
- 5.7 Crickmer designed runs of buildings along Howard Drive with a series of semi-detached houses with a small flat porch enclosed by two bookend gable ends.
- 5.8 It is unfortunate that the original plan form designed by Crickmer was not taken into consideration in 1987 when the front extension was added to No.31. The single storey extension is unbalanced and detracts from the streetscene with a poorly designed roof.
- 5.9 No.31 was extended circa 1987 when the design criteria from the LGCHF was limited. However, relative to the host property it is a proportionate extension. However, this extension was also not built as per the approved details with a hipped roofline. At this stage, the Heritage Foundation did not operate a two-tier approval system.
- 5.10 The proposed extension, if consented to, would not only compound the damage from the extension to No31, it would heighten it as to achieve the depth, the roofline is uncomfortable and contrived.
- 5.11 There are many examples of front extensions tucked into the front of these properties and only the adjoining property (no. 31) has the same contrived roof design, but this is only a small projection and so the horizontal section is not as prominent.
- 5.12 The loss of the original porch was also considered but although this grouping of properties still retains their original porches, it was felt that it would be unreasonable to prevent a front extension when there are other examples with consent along the road.

- 5.13 The HAS also feel that the front extension should be reduced in size to compensate for the large rear extension. The host building is a traditional 3 bedroom semi-detached and the combination of a large rear extension with a deeper front extension would result in the over development of the plot.
- 5.14 Pre-application advice following the refusal by HAS discussed a reduced scheme that would be more in keeping with the streetscene and similar extensions along Howard Drive. The applicant was advised that the original submission drawings for application 35425 without the bay windows would accord with the Design Principles. The original submission plans from 29th October 2019 were set aside for amended plans submitted 5th November and these amended plans were refused. The original submission plans showing the smaller porch are also contained within **Appendix B**.
- 5.15 This was the subject of a further application (36045) which was not according to the pre-app plans but was a slightly further forward projection than had been suggested at pre app stage.

6. Exceptional circumstances

- 6.1 In the case of leasehold properties, the Equality Act 2010 places a greater responsibility on the landlord to protect the interests of tenants. When an application is refused the burden of proof is with the decision maker and the decision on the application must be determined within a 48-day period.
- 6.2 The HAS need to consider the following questions when dealing with an exceptional circumstances case:-
1. Does the application broadly comply with the Design Principles and is it acceptable?
 2. Has the tenant put forward personal circumstances by way of justification for departing from the Design Principles?
 3. Can these circumstances be accommodated by way of alternative design which would be acceptable to the Heritage Foundation?

If the answer is "No"

4. Can the alterations be classed as of a temporary nature directly linked to the personal circumstances of the owner/tenant which could be removed/reinstated when no longer required by the owner/tenant at reasonable, or perhaps modest cost?
5. The balancing act is engaged. – which looks at the effects of a refusal on the owner/tenant compared with the effects of granting consent on the Heritage Foundation as custodian of the public purpose of maintaining the standards of appearance and amenity of the estate.

This may be measured by the effect of the particular works if done on

the appearance and amenity in the area, and on the likelihood that permission would bring pressure for permission for other developments with the result of over time of the loss of the particularly appearance and amenity of Letchworth

6.3 The application has not followed a traditional route in terms of the Equality Act, as [REDACTED]. The time period of 48 days relates to the time for the application to be determined and not for the time taken to review or appeal the original decision.

6.4 The following paragraphs analyse the stages that the HF now need to consider.

6.5 **1. Does the application broadly comply with the Design Principles and is it acceptable?**

The proposal as discussed above does not comply with the Design Principles and is not considered to be acceptable in its current proportions and design.

6.6 **2. Has the tenant put forward personal circumstances by way of justification for departing from the Design Principles?**

The applicant has submitted a letter dated 11th June 2020 from [REDACTED]

6.7 The letter from [REDACTED]

6.8 The provision outlined above can easily be accommodated within the new plan created by the addition of the rear extension. The HF have also advised at pre-app that a small, better proportioned and designed front extension would be in keeping with the house design and streetscene and would also accommodate a rest room. It is noted on the Architect's plans that the original room designated as a play room has been amended to a rest room and as such there would be ample space for a rest room within the proposed rear extension as well as a potential smaller and better proportioned front extension, both of which would comply with the Design Principles.

6.9 **3. Can these circumstances be accommodated by way of alternative design which would be acceptable to the Heritage Foundation?**

Yes, the applicant has successfully gained Consent for a part two storey and part single storey extension which has substantially increased the available ground floor space and can easily accommodate a rest room within the enlarged living room.

6.10 The HF have also, via pre-app, suggested that a reduced scheme to the front of the property could accommodate a playroom and a study and one of

these rooms could be utilised as a rest room with a window.

- 6.11 **4. Can the alterations be classed as of a temporary nature directly linked to the personal circumstances of the owner/tenant which could be removed/reinstated when no longer required by the owner/tenant at reasonable, or perhaps modest cost?**

The conditional consent is not considered to be an appropriate process in terms of this application as it would be onerous to request the removal of a solid structural addition to the property

- 6.12 **5. The balancing act is engaged. – which looks at the effects of a refusal on the owner/tenant compared with the effects of granting consent on the Heritage Foundation as custodian of the public purpose of maintaining the standards of appearance and amenity of the estate.**

The HF have provided alternatives that would support the applicant with her condition whilst also complying with the Design Principles. The original design submitted by the Architect at the beginning of this application would be consistent and in keeping with other examples along Howard Drive. The amenity and appearance of the estate can be maintained whilst also allowing for the additional accommodation that the applicant is seeking.

- 6.13 It is felt that on balance, that the proposed front extension would have a negative and damaging impact on the host building as well as on the streetscene and the requirements of the applicant have been demonstrated to be achievable within a smaller footprint.

7. Conclusions

- 7.1 The Heritage Foundation appreciate the desire of the applicant for a rest room [REDACTED] but remain concerned about the impact of the extension and the precedent this may set.
- 7.2 The Heritage Foundation have provided alternative solutions that allow for the accommodation being sought which is not detrimental to the character and appearance of the estate.
- 7.3 Overall, it is our view that the application represents a clear breach of the Design Principles, which have been carefully formulated to avoid this type of alteration. The application fails to preserve the character and appearance of the existing property and the Modern Character Area.
- 7.4 The Advisory Management Committee and Householders Application Committee Chair were supplied with some details of the circumstances and reasons for the extension, but it was considered that the application should be refused consent as there were alternative solutions that would comply with the Design Principles
- 7.5 It is therefore respectfully requested that this appeal is dismissed.

Appendix A – Photographs



Photograph showing the run of houses within this grouping, all of which retain their original porch design



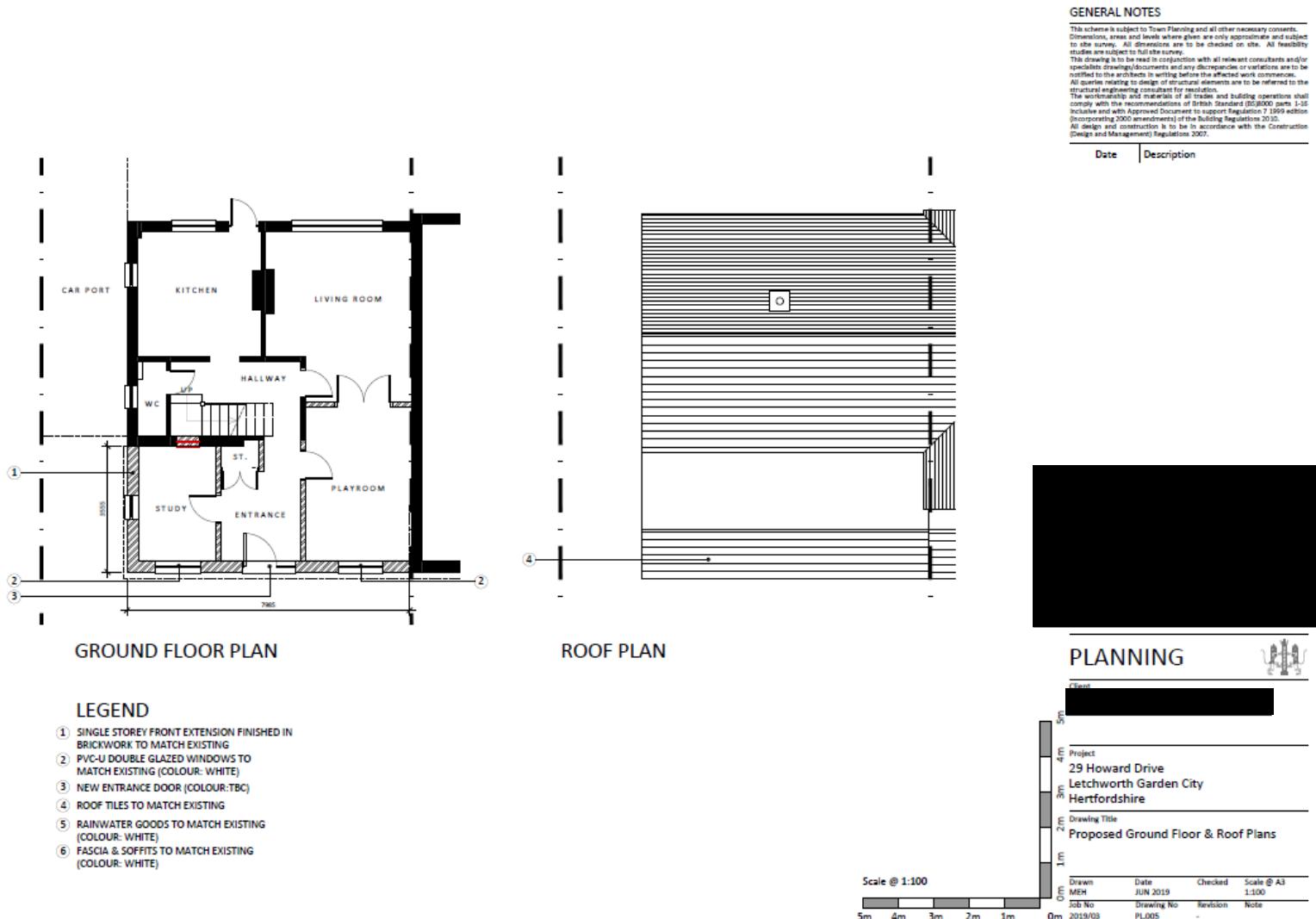
Photograph showing the relationship between No.27, 29 and 31. To allow such a deep extension would unbalance this grouping





Appendix B

Refused plans 35425





FRONT ELEVATION (A-A)



SIDE ELEVATION (B-B)



REAR ELEVATION (C-C)

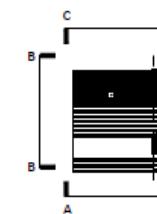
LEGEND

- ① SINGLE STOREY FRONT EXTENSION FINISHED IN BRICKWORK TO MATCH EXISTING
- ② PVC-U DOUBLE GLAZED WINDOWS TO MATCH EXISTING (COLOUR: WHITE)
- ③ NEW ENTRANCE DOOR (COLOUR:TBC)
- ④ ROOF TILES TO MATCH EXISTING
- ⑤ RAINWATER GOODS TO MATCH EXISTING (COLOUR: WHITE)
- ⑥ FASCIA & SOFFITS TO MATCH EXISTING (COLOUR: WHITE)

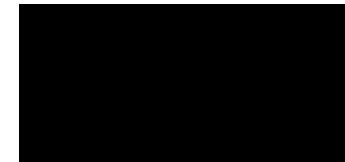
GENERAL NOTES

This scheme is subject to Town Planning and all other necessary consents. Dimensions given are only approximate and subject to site survey. All dimensions are to be checked on site. All feasibility studies are subject to full site survey.
The architect shall liaise with all relevant consultants and/or specialists drawing/documents and any discrepancies or variations are to be referred to the architects. In writing before the affected work commences. All necessary drawings of proposed works shall be submitted to the structural engineering consultant for resolution.
The contractor shall ensure that all proposed works and building operations shall comply with the recommendations of British Standard (BS) 8000 parts 1-10 inclusive and with Approved Document to support Regulation 7 1999 edition (prevailing at time of issue) Building Regulations 2010.
All design and construction is to be in accordance with the Construction (Design and Management) Regulations 2007.

Rev	Date	Description



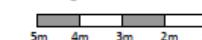
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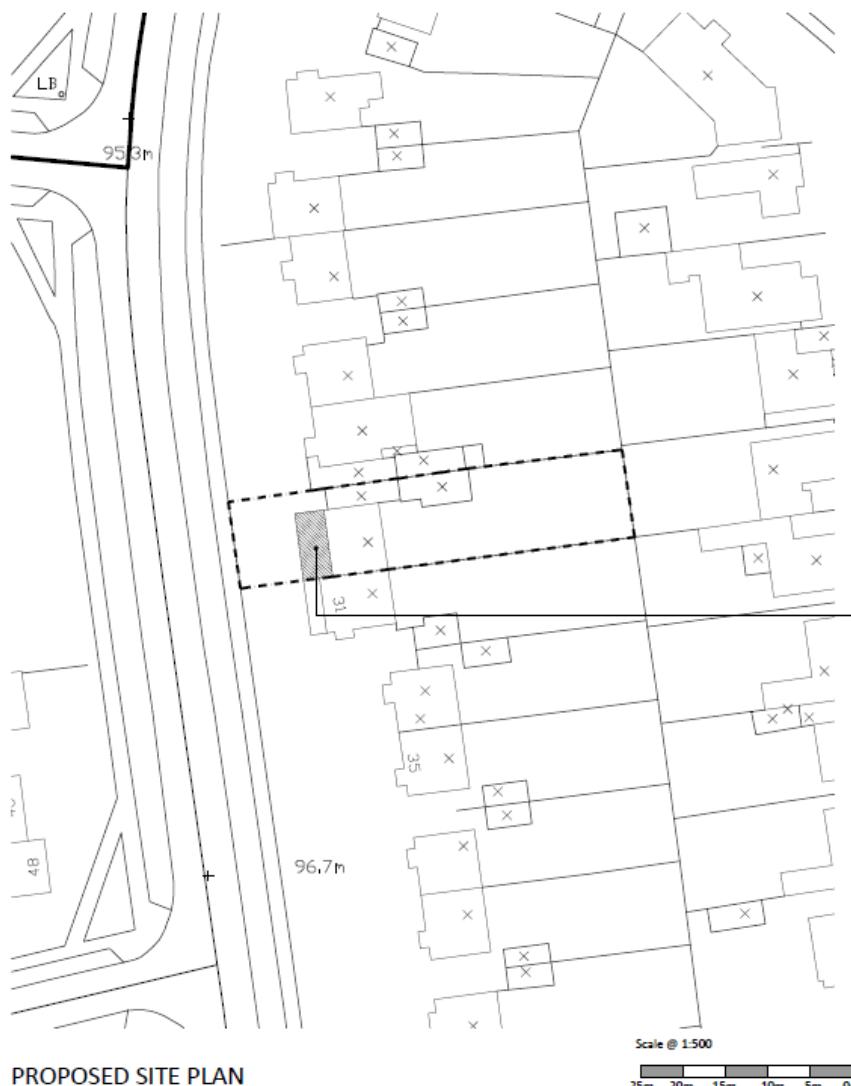


PLANNING

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Project	29 Howard Drive
	Letchworth Garden City
	Hertfordshire
Drawing Title	Proposed Elevations
Scale @ A3	1:100
Drawn	JUN 2019
Job No	2019/03
Date	2019/03
Checked	-
Revision	-
Note	-

Scale @ 1:100



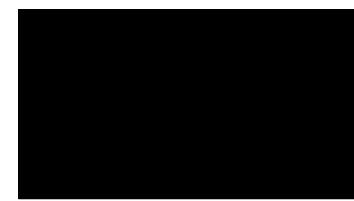


SINGLE STOREY FRONT EXTENSION

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All queries relating to design of structural elements are to be referred to the structural engineering consultant for resolution.
The proposed scheme and any associated travel and building operations shall comply with the recommendations of British Standard BS8000 parts 1-16 which are based on the Building Regulations Approved Document K 2010 edition (incorporating 2000 amendments) of the Building Regulations 2010.
All design and construction is to be in accordance with the Construction (Design and Management) Regulations 2007.

Rev | Date | Description



PLANNING

Client



Project

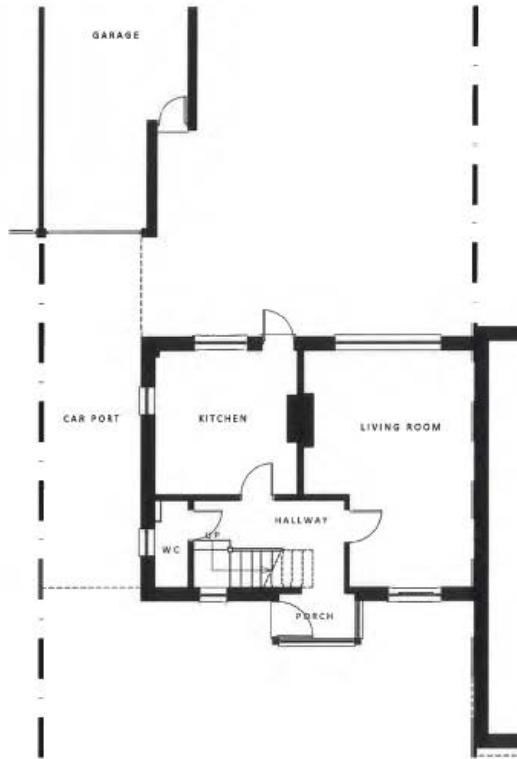
29 Howard Drive
Letchworth Garden City
Hertfordshire

Drawing Title

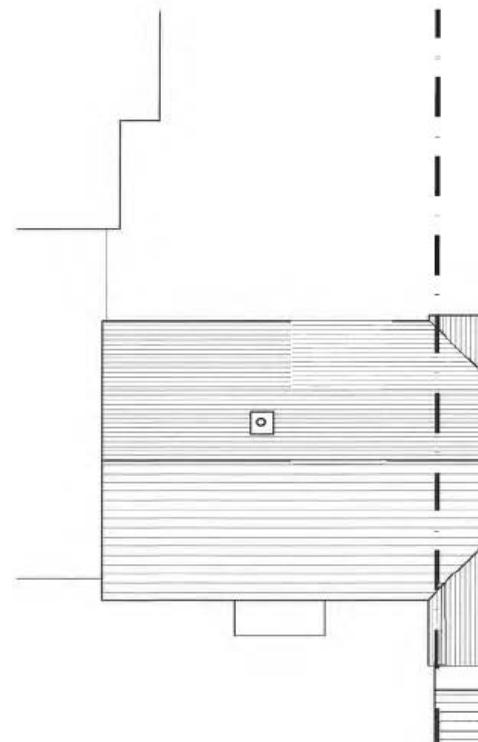
Proposed Site Plan

Drawn M&H	Date JUN 2019	Checked	Scale @ A3 1:500
Job No 2019/03	Drawing No PL.006	Revision -	Note

Plans of Existing



GROUND FLOOR PLAN



ROOF PLAN

GENERAL NOTES

Date	Description
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2m	Existing Ground Floor & Roof Plans
1m	
0m	
3m	Drawn Date Checked Scale @ A3
MDH JUN 2019	- 1:100
Job No.	Drawing No.
2019/03	PL002
3m	Revision Note

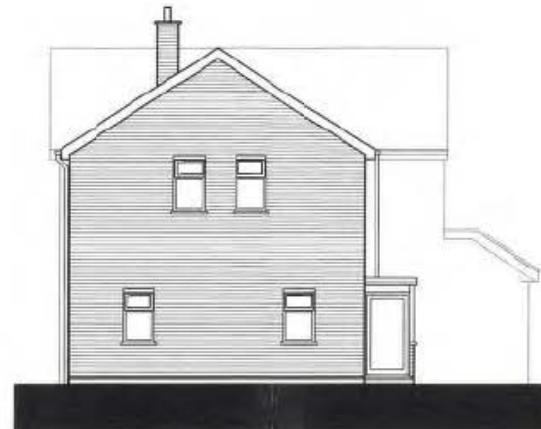
GENERAL NOTES

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 to survey. All dimensions are to be checked on site. All feasibility
 studies are subject to full site survey.
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 specialist drawings/documents and any omissions or variations to be
 noted by the architect or engineer shall be agreed between the architect and
 client.
 All queries relating to design of structural elements are to be referred to the
 structural engineering consultant for resolution.
 The architect and engineer shall ensure that all design and building operations shall
 comply with the recommendations of British Standard (BS) 8000 parts 1-16
 inclusive and with Approved Document to support Regulation 7 1999 edition
 Building Regulations and the Building Safety and Building Regulations 2010.
 All design and construction is to be in accordance with the Construction
 (Design and Management) Regulations 2007.

Rev	Date	Description



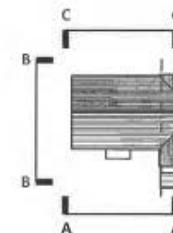
FRONT ELEVATION (A-A)



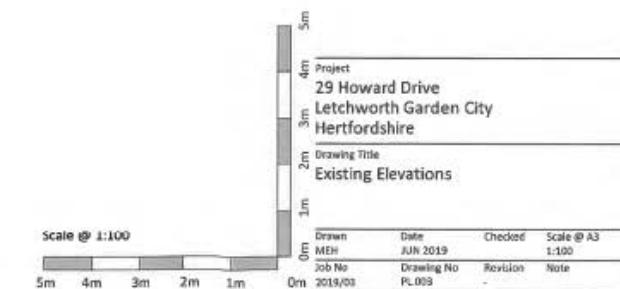
SIDE ELEVATION (B-B)



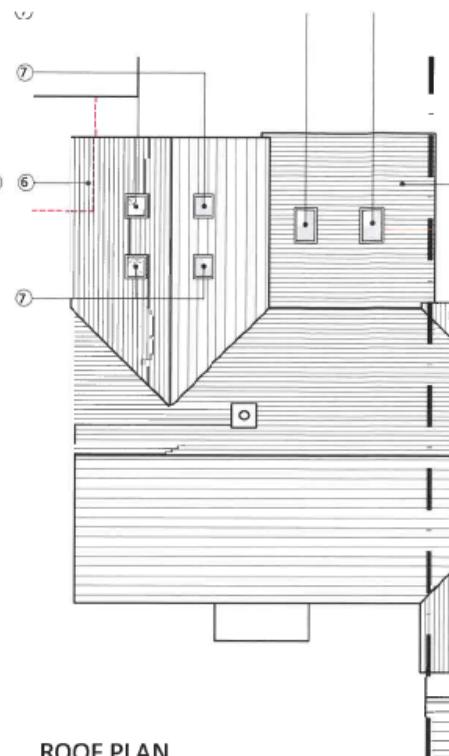
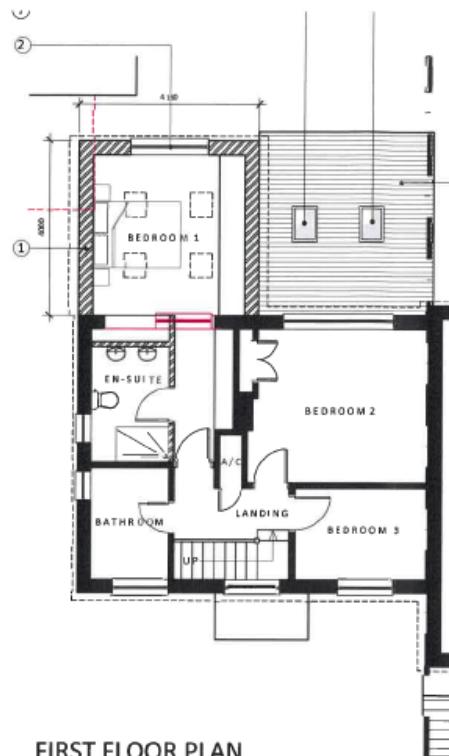
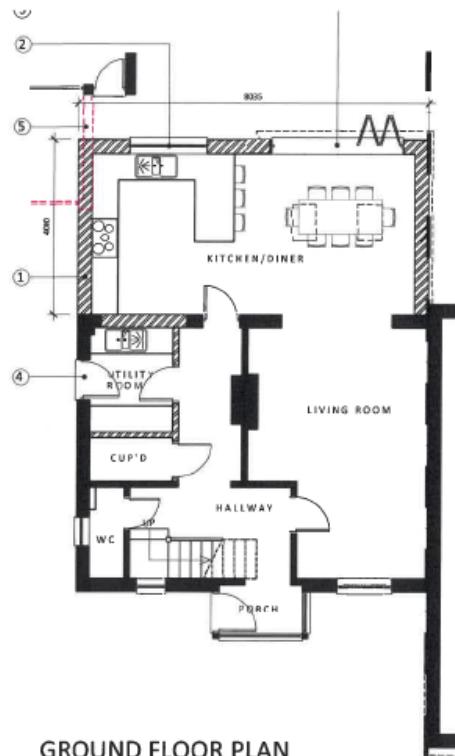
REAR ELEVATION (C-C)



KEY PLAN



Approved Plans 35424



GENERAL NOTES

This scheme is subject to Town Planning and all other necessary consents. Dimensions, areas and levels where given are only approximate and subject to site survey. All dimensions are to be checked on site. All feasibility studies and surveys have been carried out by the architect. This drawing is to be read in conjunction with all relevant consultees and/or specific lists of drawings/documents and any discrepancies or variations are to be referred to the architect. All queries relating to design or structural matters are to be referred to the structural engineering consultant for resolution.

Architectural, structural and building operations shall comply with the recommendations of British Standard (BS) 8000 parts 1-16 inclusive and with Approved Document to support Regulation 7 (1990 edition) and Approved Document L (2010 edition) Building Regulations 2010. All design and construction is to be in accordance with the Construction (Design and Management) Regulations 2007.

Date	Description
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**FILE COPY - 35424
HD/029/EX001**

LETCHWORTH GARDEN CITY
HERITAGE FOUNDATION
THIS IS THE DOCUMENT / ONE OF THE DOCUMENTS
RELATING TO THE FIRST STAGE APPROVAL DATED
18 NOV 2019
SUBJECT TO CONDITIONS
AUTHORISED BY HERITAGE ADVISORY TEAM



PLANNING 

Client: [REDACTED]

Project: 29 Howard Drive
Letchworth Garden City
Hertfordshire

Drawing Title: Proposed Ground Floor & Roof Plans

Scale @ 1:100			
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1m	0m	0m	1m

Drawn	Date	Checked	Scale @ A3
MDB	JUN 2019	-	1:100

Job No	Drawing No	Revision	Note
2019/03	PL/005	-	



FRONT ELEVATION (A-A)



SIDE ELEVATION (B-B)



REAR ELEVATION (C-C)

LEGEND

- | | |
|---|--|
| ① PART DOUBLE PART SINGLE STOREY REAR EXTENSION FINISHED IN BRICKWORK TO MATCH EXISTING | ⑤ DEMOLISH FRONT PORTION OF GARAGE |
| ② PVC-U DOUBBLE GLAZED WINDOWS TO MATCH EXISTING (COLOUR: WHITE) | ⑥ ROOF TILES TO MATCH EXISTING |
| ③ PVC-U DOUBLE GLAZED BI-FOLD DOORS (COLOUR:WHITE) | ⑦ DOUBLE GLAZED ROOFLIGHT (COLOUR: GREY) |
| ④ PVC-U DOUBLE GLAZED EXTERNAL DOOR (COLOUR:WHITE) | ⑧ RAINWATER GOODS TO MATCH EXISTING (COLOUR: WHITE) |
| | ⑨ FASCIA & SOFFITS TO MATCH EXISTING (COLOUR: WHITE) |

LETCHWORTH GARDEN CITY HERITAGE FOUNDATION
 THIS IS THE DOCUMENT ONE OF THE DOCUMENTS
 RELATING TO THE FIRST STAGE APPROVAL DATED
18 NOV 2019
 SUBJECT TO CONDITIONS
 AUTHORISED BY HERITAGE ADVISORY TEAM

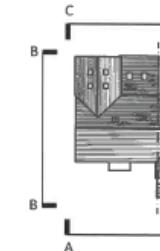
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GENERAL NOTES

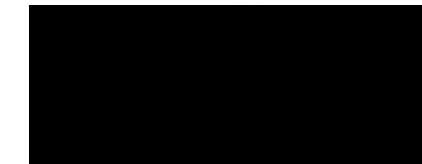
This scheme is subject to Town Planning and all other necessary consents.
 Directors, clients and teams where given are not responsible and subject to site surveys. All dimensions are to be checked on site. All feasibility studies are to be carried out by full site survey.
 The client is to be responsible in conjunction with all relevant consultants and/or specialists/drawings/documents and any discrepancies or variations are to be notified to the architect in writing within 14 days of the effectiveness of these conditions.
 All queries relating to details of structural elements are to be referred to the structural engineering consultant for resolution.
 The works and associated demolition and building operations shall comply with the recommendations of British Standard BS8000 parts 1-26 inclusive and with Approved Document to support Regulation 7 1999 edition (except where otherwise indicated) Building Regulations 2010.
 All design and construction is to be in accordance with the Construction (Design and Management) Regulations 2007.

Rev Date Description

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 HD/029/EX002



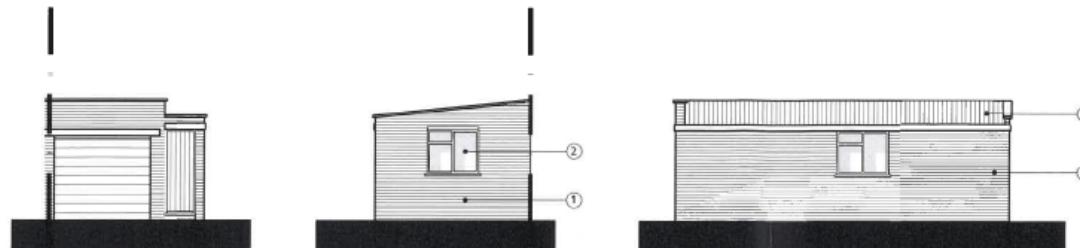
KEY PLAN



PLANNING

Client

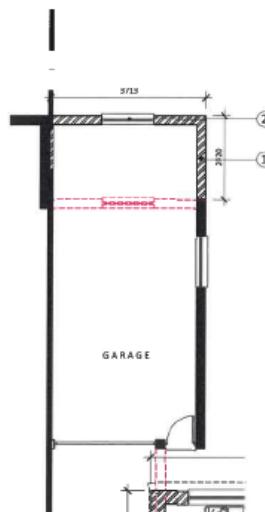
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Job No 2019/03	Drawing No PL005	Revision	Note	-



FRONT ELEVATION (A-A)

REAR ELEVATION (B-B)

SIDE ELEVATION (C-C)



PROPOSED GARAGE FLOOR PLAN



PROPOSED GARAGE ROOF PLAN

LEGEND

- ① SINGLE STOREY REAR EXTENSION TO GARAGE FINISHED IN BRICKWORK TO MATCH EXISTING
- ② RELOCATE EXISTING WINDOW TO NEW POSITION
- ③ ROOF FINISH TO MATCH EXISTING



Scale @ 1:100
5m 4m 3m 2m 1m

GENERAL NOTES

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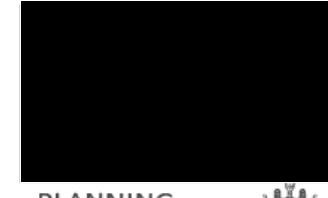
The works and materials of all trades and building operations must comply with the recommendations of the Building Regulations 2010, including with Approved Document to support Regulation 7 1999 edition (incorporating all amendments of the Building Regulations 2010). All design and construction is to be carried in accordance with the Construction (Design and Management) Regulations 2009.

Rev Date Description

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HD/029/EX003

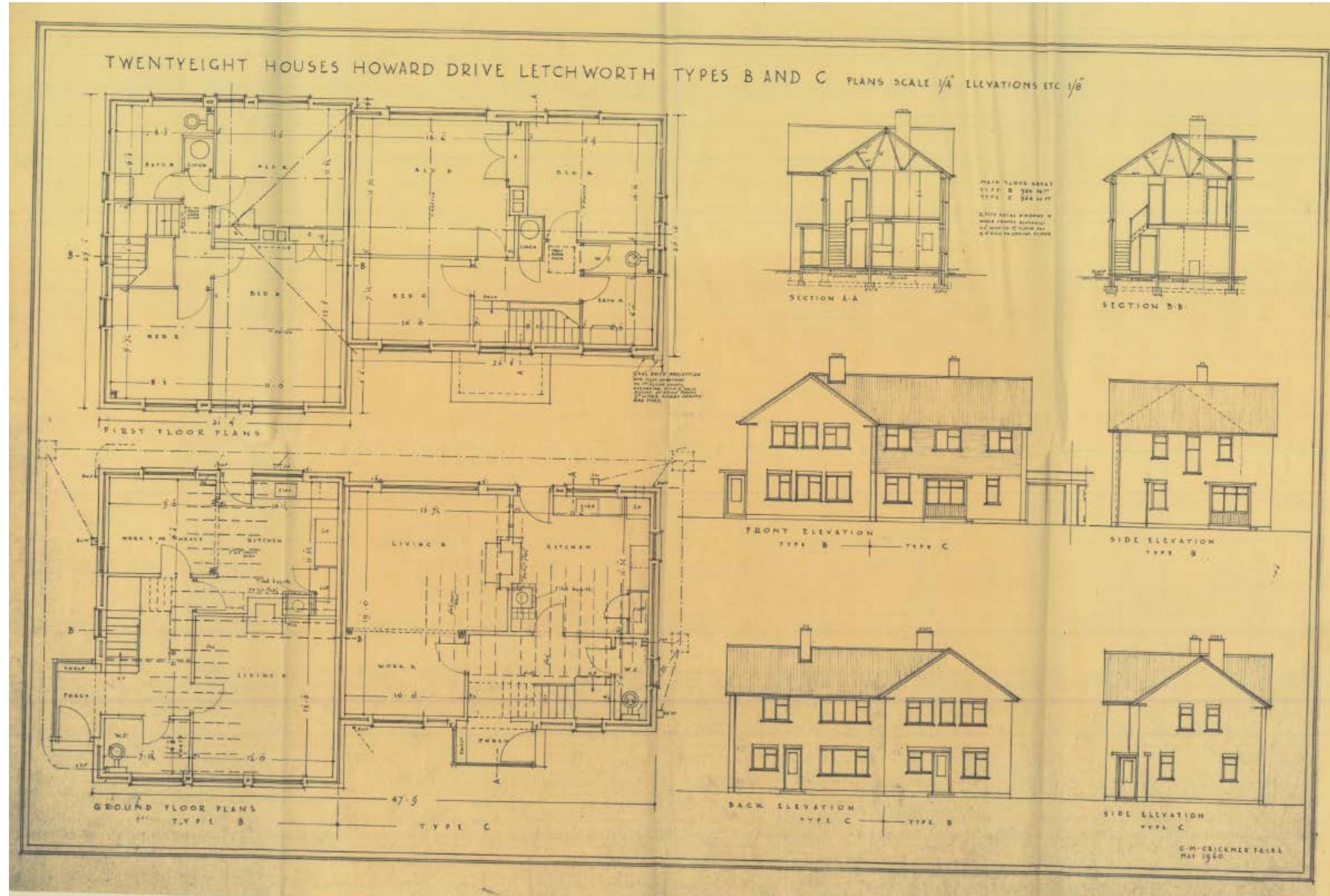


KEY PLAN



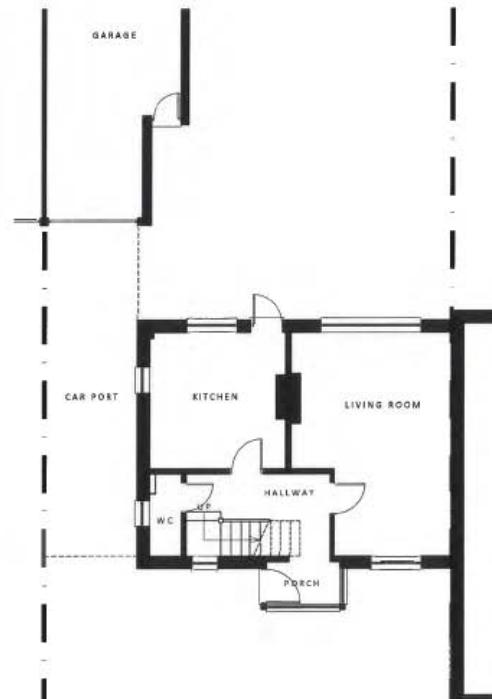
Project	29 Howard Drive
Location	Letchworth Garden City
Hertfordshire	
Drawing Title	
Drawn	Date
MIEH	JUN 2019
Job No	Checked
2019/08	Scale @ A3
PL.007	1:100
0m	Revision
0m	Note

Original Plans

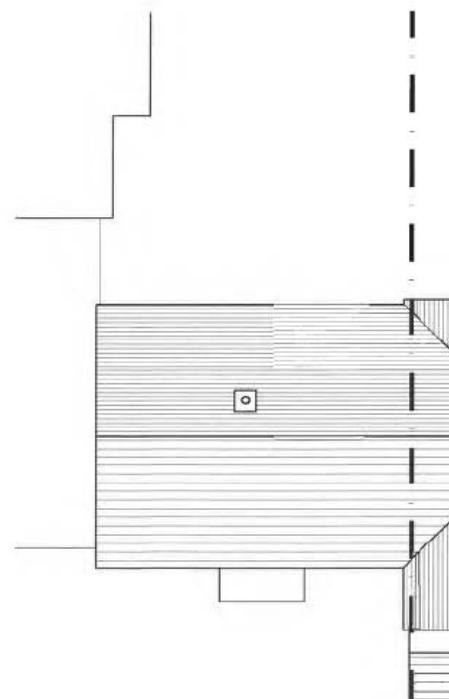


Original Submission Plans





GROUND FLOOR PLAN



ROOF PLAN

GENERAL NOTES

This scheme is subject to Town Planning and all other necessary consents. Dimensions, areas and levels where given are only approximate and subject to final survey. All dimensions and areas to be checked on site. All feasibility studies are subject to full site surveys. All feasibility studies are subject to final survey. This drawing is to be read in conjunction with the relevant construction documents and any changes, alterations or omissions are to be notified to the architect in writing before the affected work commences. All plans are subject to final survey. Any alterations to the plans are to be referred to the structural engineer for resolution.

The drawings have been prepared in accordance with the Building Regulations and comply with the recommendations of British Standard BS8000 parts 1-08 inclusive and with Approved Document to support Regulation 7 1999 edition (Changes to Existing Buildings) and Approved Document L 2004 edition. All design and construction is to be in accordance with the Construction (Design and Management) Regulation 2007.

Date	Description
------	-------------

Project
29 Howard Drive
Letchworth Garden City
Hertfordshire

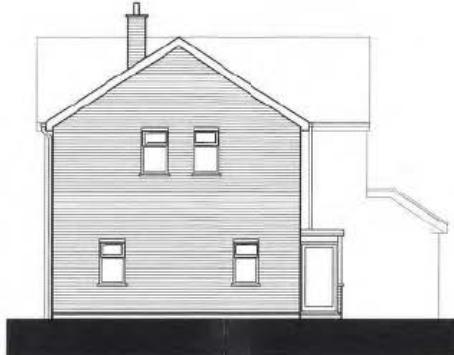
Drawing Title
Existing Ground Floor & Roof Plans

Scale @ 1:100
5m 4m 3m 2m 1m
0m 1m 2m 3m 4m 5m

Drawn
Date
Checked
Scale @ A3
MDH JUN 2019 - 1:100
Job No Drawing No Revision Note
2019/03 PL/002 -



FRONT ELEVATION (A-A)



SIDE ELEVATION (B-B)

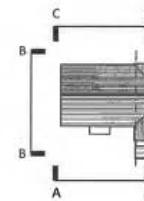


REAR ELEVATION (C-C)

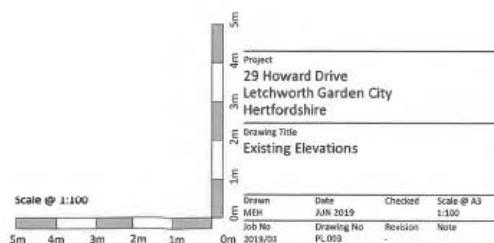
GENERAL NOTES

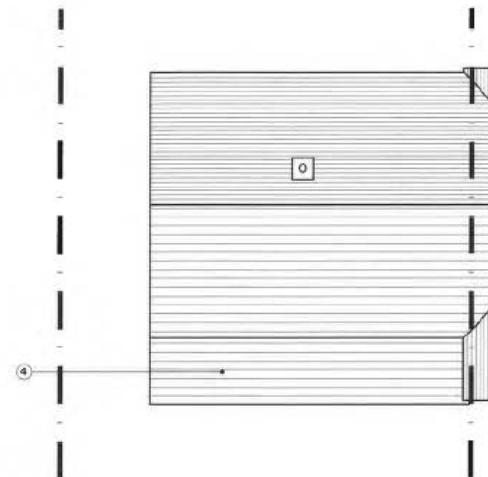
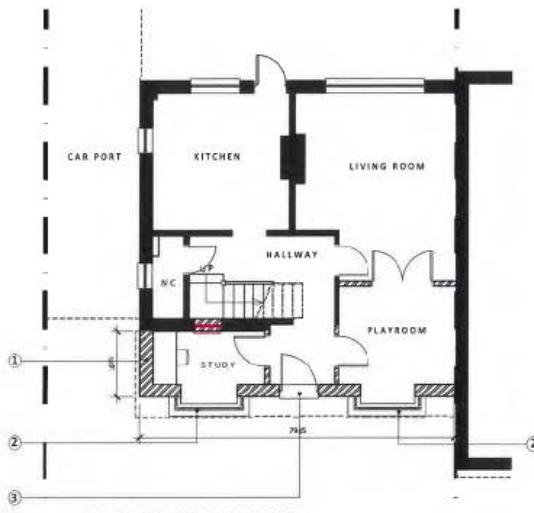
This drawing is subject to Town Planning and all other necessary consents.
Dimensions, areas and levels where given are only approximate and subject
to site surveys and final levels to be checked on site. All feasibility
studies are subject to full site surveys.
This drawing is to be read in conjunction with all relevant consultants and/or
specifications. Any changes to the design or specification must be notified
to the architect in writing before the affected work commences.
All relevant structural calculations and drawings are to be referred to the
structural engineering consultant for resolution.
The workmanship and materials of all trades and building operations shall
conform with the Building Regulations Approved Document A 2010 edition
inclusive and with Approved Document to support Regulation 7 2006 edition
(Residential) and Approved Document M 2006 Residential Buildings Regulations 2010.
All design and construction is to be in accordance with the Construction
(Design and Management) Regulations 2007.

Rev | Date | Description



KEY PLAN





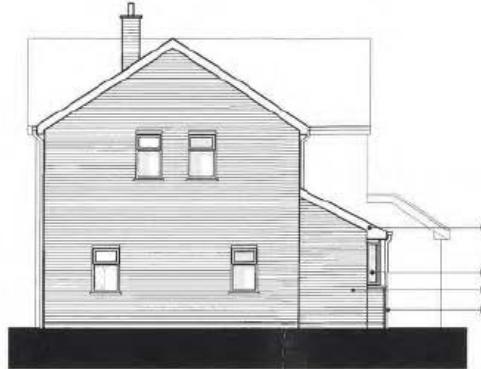
LEGEND

- ① SINGLE STOREY FRONT EXTENSION FINISHED IN BRICKWORK TO MATCH EXISTING
- ② PVC-U DOUBLE GLAZED WINDOWS TO MATCH EXISTING (COLOUR: WHITE)
- ③ NEW ENTRANCE DOOR (COLOUR:TBC)
- ④ ROOF TILES TO MATCH EXISTING
- ⑤ RAINWATER GOODS TO MATCH EXISTING (COLOUR: WHITE)
- ⑥ FASIA & SOFFITS TO MATCH EXISTING (COLOUR: WHITE)

Project 29 Howard Drive			
Letchworth Garden City			
Hertfordshire			
Drawing Title Proposed Ground Floor & Roof Plans			
Scale @ 1:100			
5m	4m		
3m	2m		
1m			
0m			
Drawn MHD	Date JUN 2019	Checked	Scale @ A3
Job No 2019/03	Drawing No PL005	Revision	1:100
Note			



FRONT ELEVATION (A-A)



SIDE ELEVATION (B-B)



REAR ELEVATION (C-C)

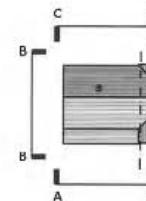
LEGEND

- ① SINGLE STOREY FRONT EXTENSION FINISHED IN BRICKWORK TO MATCH EXISTING
- ② PVC-U DOUBLE GLAZED WINDOWS TO MATCH EXISTING (COLOUR: WHITE)
- ③ NEW ENTRANCE DOOR (COLOUR:TBC)
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- ⑤ RAINWATER GOODS TO MATCH EXISTING (COLOUR: WHITE)
- ⑥ FASCIA & SOFFITS TO MATCH EXISTING (COLOUR: WHITE)

GENERAL NOTES

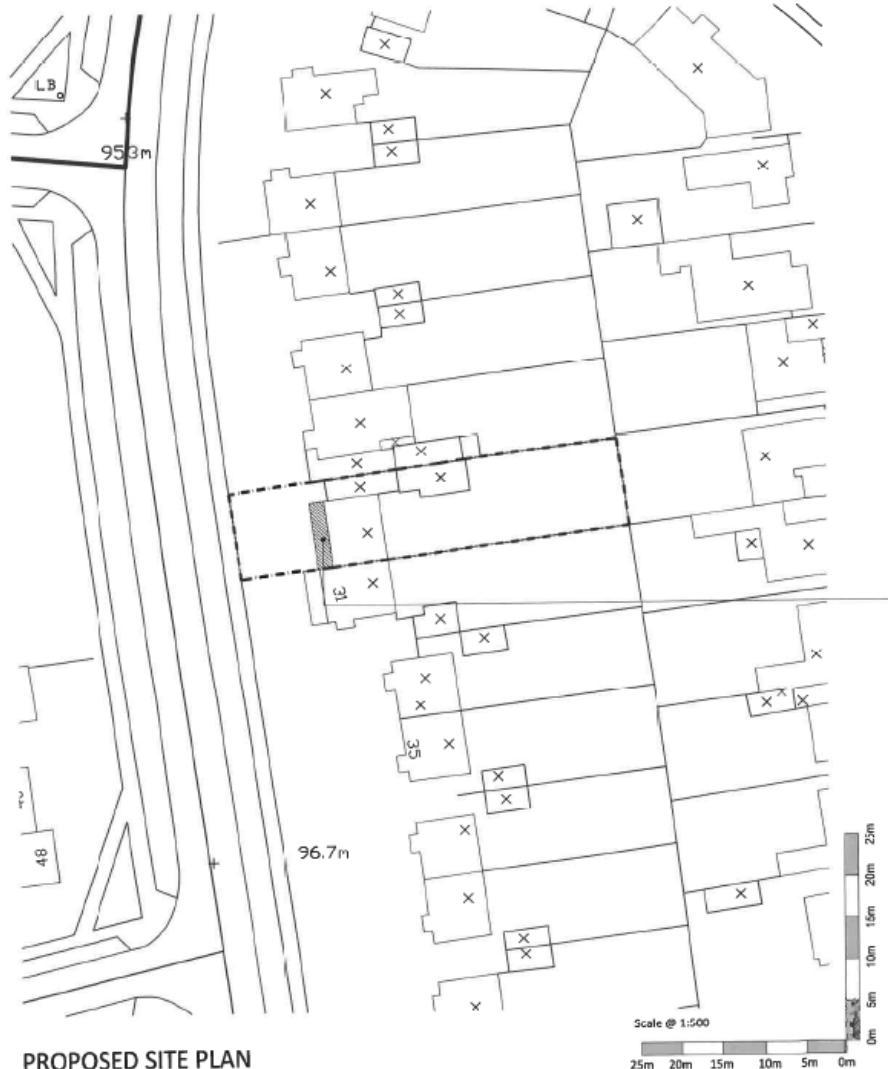
This scheme is subject to Town Planning and all other necessary consents. Designations shown on site plans are where given by the appropriate authority or subject to site survey. All dimensions are to be checked on site. All feasibility studies are subject to full site surveys. This drawing is the responsibility of the architect with all relevant consultants and/or specialists drawing/documents and any discrepancies or variations are to be sorted out by the architect. Any changes made to the drawing must be signed off by the architect. All queries relating to design of structural elements, are to be referred to the structural engineer/consultant responsible. The proposed works and methods of trading and building operations shall comply with the recommendations of British Standard (BS8000 parts 1-16 including part 16:2007) and the Building Regulations Approved Document L1A (incorporating 2006 amendments) of the Building Regulations 2000. All design and construction is to be in accordance with the Construction (Design and Management) Regulations 2007.

Rev | Date | Description



KEY PLAN





GENERAL NOTES

This scheme is subject to Town Planning and all other necessary consents.
Dimensions, areas and levels where given are only approximate and subject
to site survey. All dimensions are to be checked on site. All boundary
uckles are subject to full site survey.
This drawing is to be read in conjunction with all relevant codes and/or
specifications. Any deviation from the drawing or any variations are to be
notified to the architect in writing before the affected work commences.
All queries relating to design of structural elements are to be referred to the
structural engineer for consideration.
The workmanship and materials of all trades and building operations shall
comply with the Building Regulations Approved Document A 2010 edition
and Approved Document T 2009 edition (incorporating 2009 amendments) of the Building Regulations 2000.
All earth and construction is to be in accordance with the Construction
(Design and Management) Regulations 2007.

Rev | Date | Description

Project:
29 Howard Drive
Letchworth Garden City
Hertfordshire

Drawing Title:
Proposed Site Plan

Drawn	Date	Checked	Scale @ A3
MTH	JUN 2019		1:500
Job No	Drawing No	Revision	Note
2019/03	PL.006	-	

Appendix C

The HAS minutes 14th November 2019

HAS Meeting Minutes (extract)

29 Howard Drive (34525) – Ground floor front extension, following demolition of original porch

GA discussed this case.

- GA advised that amended plans have been received but the design is the same and is not acceptable

The HAS agreed that the application shall be refused.

GA

Refusal letter

Our Ref: 35425
Date: 18th November 2019

**Letchworth
Garden City
Heritage Foundation**

29 Howard Drive
Letchworth Garden City
Hertfordshire
SG6 2BT

Dear [REDACTED]

**Ground floor front & rear extensions & extension to rear of garage,
29 Howard Drive, Letchworth Garden City.**

The application for the above proposal was considered by the Heritage Advice Service (HAS) at its meeting on 14th November 2019. At this meeting the HAS team took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened our Design Principles, for the following reasons:

Design Principles Modern Character Area states the following:

'It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.'

'Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.'

- The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.

I know this decision is disappointing, but should you not agree with this decision, you may request that your application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should you wish to proceed with this, please ensure that we receive your written confirmation within 6 months of the date of this letter. You may also wish to provide a written statement in support of the review.

Please refer to our website for further information:

<https://www.letchworth.com/your-home/application-process>

Letchworth Garden City Heritage Foundation, One Garden City, Broadway, Letchworth Garden City, Hertfordshire SG6 3BF
✉ letchworth.com ☎ 01462 530350 ✉ response@letchworth.com

Letchworth Garden City Heritage Foundation is registered under the Co-operative and Community Benefit Societies Act 2014. Registration number: 28211R

Should you have any further queries, would like to discuss the decision, or amend your proposal please contact Graham Allen on the number below.

Yours sincerely



Claire Pudney
Heritage Advice Service Manager
home@letchworth.com
Tel: 01462 530335

cc [REDACTED]



29 Howard Drive

1. Matter for Consideration

- 1.1 An application for:
Ground floor front extension, following demolition of original porch

2. Information

- 2.1 Applicants: [REDACTED]
- 2.2 Site: Freehold house built c.1960. The surrounding area is designated as Modern Character Area and is not a Home of Special Interest.

For information, this group of houses nos. 23 – 31 is part of a run of houses nos. 03 – 55, which was one of the last designs by the renowned architect C M Crickmer.
- 2.3 A copy of the refusal letter, and an extract from the HAC meeting minutes are available in **Appendix A**, as are the refusal and approval letters for recent pertinent applications. A3 copies of the refused plans are attached to this report; plus, for context, the approved rear extensions plans are also attached.
- 2.4 A letter requesting the AMC to review the scheme is in **Appendix B**.
- 2.5 Supporting statement from the agent is available in **Appendix C**.
- 2.6 Photographs are available in **Appendix D**.

- 2.7 No application for planning permission has been made for this particular proposal; however, an application (Ref.no. 19/02933/FPH) for rear extensions only (approved by HAS in November 2019) has been made, but no decision made at the time of preparing this report.
- 2.8 The AMC is asked to review the decision to **refuse** consent for the front extension which is contrary to the Design Principles.

3. Case Officer Comments

- 3.1 The reasons for refusal below are contained in the refusal letter which is available in **Appendix A**.

'The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.'

- 3.2 Previous applications relating to this proposal:

Ref number	Proposal	Decision
35007	Ground floor front extension, front porch, ground floor rear extension plus extension to rear of garage.	Refused 12 August 2019
35295	Ground floor front & rear extensions & extension to rear of garage	Refused 19 October 2019
35424	Part two storey, part ground floor rear extensions plus part demolition of and rear extension to garage	Approved 18 November 2019
35425	Ground floor front extension, following demolition of original porch	Refused 18 November 2019

The application 35295 was as 35007 but omitted the front porch.

The application 35424 omitted the front alterations, as recommended on the previous refusals.

The application 35425 was for a front extension only. It should be noted that the approved rear extensions are not indicated on the plans. The approved rear extensions should be taken into account when reviewing the front extension proposals as this is considered overdevelopment by the HAS team.

- 3.3 The **supporting statement** shows several properties with front extensions, of which only ten are in Howard Drive (see table below). None of these are as large as the proposed and only the adjoining property (no. 31) has the same contrived roof design, but this is only a small projection and so the horizontal section is not as prominent. However, this extension was not built as per the approved details (December 1987) as the roof should have been hipped. The application procedure did not have a two tier approval system at this time.

Address	Status and dates	Comments
Howard Drive	Not on Landlords Consent	If approved it was prior to 2002
Howard Drive	Approved, December 2004	Prior to Design Standards
Howard Drive	Approved, March 2002	Prior to Design Standards
Howard Drive	Not on Landlords Consent	If approved it was prior to 2002
Howard Drive	Approved, December 1987	Not built as approved details and also prior to Design Standards
Howard Drive	Approved, May 2007	Prior to Design Standards
Howard Drive	Not on Landlords Consent	If approved it was prior to 2002
Howard Drive	Approved, July 2015	Only 1.95 metres deep
Howard Drive	No Consent, October 2010	
Howard Drive	Not on Landlords Consent	If approved it was prior to 2002

- 3.4 The HAS consider the front extension to be disproportionate, considerably increasing the frontage massing. The design is considered contrived in that the depth of the extension creates an abnormal side roof line. It also removes the original porch/bay which is still a feature of this run of houses (nos. 25 – 29). However, this feature has been removed on other similar properties (eg. Nos. 47 and 53).

The Design Principles Modern Character Area states for front extensions:

It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.

Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group. In the rare circumstance that this type of extension is permitted, the following Principles will apply:

Front extensions should be consistent with the character of the original house, utilising the detailing and matching materials, and have balanced proportions and scale;

Roof pitches can have a substantial impact on the appearance of a building and the street scene; therefore, all proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house.

Design shall respond to and harmonise with the individual qualities of the host building and its setting. Therefore, in all cases high quality design will be encouraged, while obviously, poor design will be rejected and alternative solutions sought.

The proposed front extension does not comply with any of the above.

Appendix A – Refusal/Approval Letters and HAS Minutes

Refusal letter relating to the subject of this review

Our Ref: 35425
Date: 18th November 2019

**Letchworth
Garden City
Heritage Foundation**

[REDACTED]
29 Howard Drive
Letchworth Garden City
Hertfordshire
SG6 2BT

Dear [REDACTED]

**Ground floor front & rear extensions & extension to rear of garage,
29 Howard Drive, Letchworth Garden City.**

The application for the above proposal was considered by the Heritage Advice Service (HAS) at its meeting on 14th November 2019. At this meeting the HAS team took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened our Design Principles, for the following reasons:

Design Principles Modern Character Area states the following:

'It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.'

'Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.'

- The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.

I know this decision is disappointing, but should you not agree with this decision, you may request that your application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should you wish to proceed with this, please ensure that we receive your written confirmation within 6 months of the date of this letter. You may also wish to provide a written statement in support of the review.

Please refer to our website for further information:

<https://www.letchworth.com/your-home/application-process>

Should you have any further queries, would like to discuss the decision, or amend your proposal please contact Graham Allen on the number below.

Yours sincerely

Claire Pudney
Heritage Advice Service Manager
home@letchworth.com
Tel: 01462 530335

cc [REDACTED]

Appendix A – Refusal/Approval Letters and HAS Minutes (continued)

Refusal letter for application ref: 35007

**Letchworth
Garden City
Heritage Foundation**

Our Ref: 35007

Date: 12th August 2019

[REDACTED]
29 Howard Drive
Letchworth Garden City
Hertfordshire
SG6 2BT

Dear [REDACTED]

**Ground Floor Front Extension, Front Porch, Ground Floor Rear Extension Plus Extension To Rear Of Garage,
29 Howard Drive, Letchworth Garden City**

The application for the above proposal was considered by the Heritage Advice Service (HAS) at its meeting on 8th August 2019. At this meeting the HAS team took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened our Design Principles, for the following reasons:

Design Principles Modern Character Area states the following:

'It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.'

'Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.'

1. The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.
2. The front porch is overly prominent and not in a complementary style.

If we were to receive a separate application for the rear extensions to the house and garage only, this could be recommended for approval.

I know this decision is disappointing, but should you not agree with this decision, you may request that your application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should you wish to proceed with this, please ensure that we receive your written confirmation within 6 months of the date of this letter. You may also wish to provide a written statement in support of the review.

Please refer to our website for further information:

<https://www.letchworth.com/your-home/application-process>

Should you have any further queries, would like to discuss the decision, or amend your proposal please contact Graham Allen on the number below.

Yours sincerely

David Ames
Executive Director - Stewardship and Development
home@letchworth.com
Tel: 01462 530335

cc: [REDACTED]

Appendix A – Refusal/Approval Letters and HAS Minutes (continued)

Refusal letter for application ref: 35295

Our Ref: 35295
Date: 9th October 2019

**Letchworth
Garden City
Heritage Foundation**

29 Howard Drive
Letchworth Garden City
Hertfordshire
SG6 2BT

Dear [REDACTED]

**Ground floor front & rear extensions & extension to rear of garage,
29 Howard Drive, Letchworth Garden City.**

The application for the above proposal was considered by the Heritage Advice Service (HAS) at its meeting on 3rd October 2019. At this meeting the HAS team took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened our Design Principles, for the following reasons:

Design Principles Modern Character Area states the following:

'It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.'

'Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.'

- The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.

I know this decision is disappointing, but should you not agree with this decision, you may request that your application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should you wish to proceed with this, please ensure that we receive your written confirmation within 6 months of the date of this letter. You may also wish to provide a written statement in support of the review.

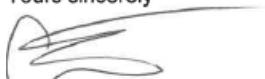
If we were to receive a separate application for the rear extensions to the house and garage only, this could be recommended for approval; a two storey section at the rear, may also be acceptable.

Please refer to our website for further information:

<https://www.letchworth.com/your-home/application-process>

Should you have any further queries, would like to discuss the decision, or amend your proposal please contact Graham Allen on the number below.

Yours sincerely



Claire Pudney
Heritage Advice Service Manager
home@letchworth.com
Tel: 01462 530335

cc [REDACTED]

Appendix A – Refusal/Approval Letters and HAS Minutes (continued)

Refusal letter for application ref: 35425

Our Ref: 35425
Date: 18th November 2019

**Letchworth
Garden City
Heritage Foundation**

[REDACTED]
29 Howard Drive
Letchworth Garden City
Hertfordshire
SG6 2BT

Dear [REDACTED]

**Ground floor front & rear extensions & extension to rear of garage,
29 Howard Drive, Letchworth Garden City.**

The application for the above proposal was considered by the Heritage Advice Service (HAS) at its meeting on 14th November 2019. At this meeting the HAS team took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened our Design Principles, for the following reasons:

Design Principles Modern Character Area states the following:

'It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context. Therefore, rear additions should be explored in the first instance.'

'Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.'

- The front extension greatly increases the massing at the front of the property, it is disproportionate and removes an original design feature, a square bay window, which is prominent in this run of houses. The roof design has a contrived appearance, especially at the side which produces an elevation that is incongruous to the original building.

I know this decision is disappointing, but should you not agree with this decision, you may request that your application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should you wish to proceed with this, please ensure that we receive your written confirmation within 6 months of the date of this letter. You may also wish to provide a written statement in support of the review.

Please refer to our website for further information:

<https://www.letchworth.com/your-home/application-process>

Should you have any further queries, would like to discuss the decision, or amend your proposal please contact Graham Allen on the number below.

Yours sincerely

Claire Pudney
Heritage Advice Service Manager
home@letchworth.com
Tel: 01462 530335

cc [REDACTED]

Appendix A – Refusal/Approval Letters and HAS Minutes (continued)

Approval letter for application ref: 35424

**Letchworth
Garden City
Heritage Foundation**

Our Ref: 35424
Date: 18th November 2019

29 Howard Drive
Letchworth Garden City
Hertfordshire, SG6 2BT

Dear [REDACTED]

**Part Two Storey, Part Ground Floor Rear Extensions Plus Part Demolition Of And Rear Extension To Garage,
29 Howard Drive, Letchworth Garden City,**

Thank you for your application to the Heritage Foundation for consent to carry out alterations to the above property.

I am pleased to confirm that the enclosed drawings numbered HD/029/EX001-EX003 have the Heritage Foundation's **first stage approval**. Please note the following conditions should be met when implementing the scheme:

- a) If the proposed alteration is not started within three years of the date of this Notice, the consent and approval given by this Notice will cease to have effect and you may not be able to renew this consent.
- b) If the proposed alteration is started, it must be completed as soon as reasonably practicable.
- c) The works shall be carried out strictly in accordance with the drawings numbered HD/029/EX001-EX003.

IMPORTANT: It is important that, should you decide to amend the proposals in any way, you advise us before implementing any change, to establish whether any further approval is needed. Should the completed works not comply with the approved plans, we may not be able to issue a Plan Approval Notice.

I enclose a works completed card and request that you return it to the Heritage Foundation when the works are completed. Once notification of completion is received, the Heritage Foundation will inspect the completed works and, if completed in accordance with the approved documents, issue the Plan Approval Notice.

It is important that you retain this letter and the Plan Approval Notice, as they are usually needed when a property changes hands or enfranchises (purchase the Freehold). The Plan Approval Notice will be essential in confirming that alterations have been built in accordance with the approved documents.

Yours sincerely



Graham Allen
Heritage Advice Service
home@letchworth.com
Tel: 01462 530335

Encs

cc: [REDACTED]

Appendix A – Refusal/Approval Letters and HAS Minutes (continued)

HAS Meeting Minutes (extract)

29 Howard Drive (34525) – Ground floor front extension, following demolition of original porch

GA discussed this case.

- GA advised that amended plans have been received but the design is the same and is not acceptable

The HAS agreed that the application shall be refused.

GA

Appendix B – Request for AMC Review

[REDACTED]
29 Howard Drive
Letchworth
Hertfordshire
SG6 2BT

2nd January 2020

Your ref: 35425

Ground floor front extension, 29 Howard Drive, Letchworth Garden City.

Dear Sirs,

Thank you for your letter dated 18th November 2019, concerning our ground floor front extension application. We request that our application is reviewed by the Advisory Management Committee.

Please see attached a supporting planning application document which we feel provides substantial evidence to support our application to modernise our home, and remain in keeping with similar neighbouring properties that already have this style and size front extension.

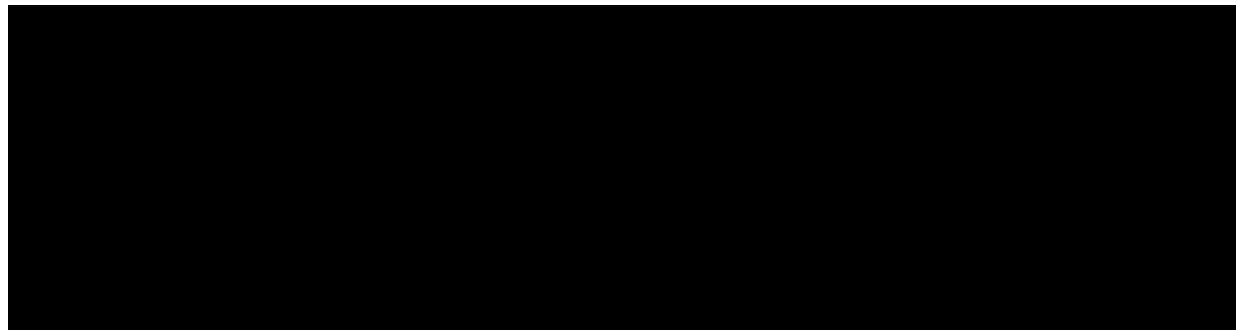
The front extension would greatly increase the ability to keep our home warm and efficient, provide a much needed home office for [REDACTED] and increased living space for our family.

We look forward to hearing from you shortly.

Yours sincerely,

[REDACTED]

Appendix C – Supporting Statement



Supporting Statement

Proposed Single Storey Extension to:

29 Howard Drive, Letchworth Garden City



Appendix C – Supporting Statement (continued)

INTRODUCTION

This document has been produced to support the application for a single storey front extension to 29 Howard Drive, Letchworth Garden City. The proposed extension is in order to provide much needed accommodation for the owners' of 29 Howard Drive and their growing family.

PROPOSAL

The proposed single storey extension is sympathetic in design and it would be built with materials to match the existing dwelling and would also be of a similar scale and proportion to the existing dwelling. Matching materials and proportions would result in the extension relating well to the context of the surrounding dwellings, as well as the existing street-scene.

Currently there is a flat roof porch to the front of the property, which is of poor construction and performs extremely badly environmentally. As it is the main entrance to the property, it provides the house with an area for significant heat loss. As a result, the EPC score of the property is 30, which classes the property as a Band F, Band G is the worst level. The proposed extension would be built to current Building Regulations, which would dramatically increase the thermal performance to the property, which has the potential to be Band C.

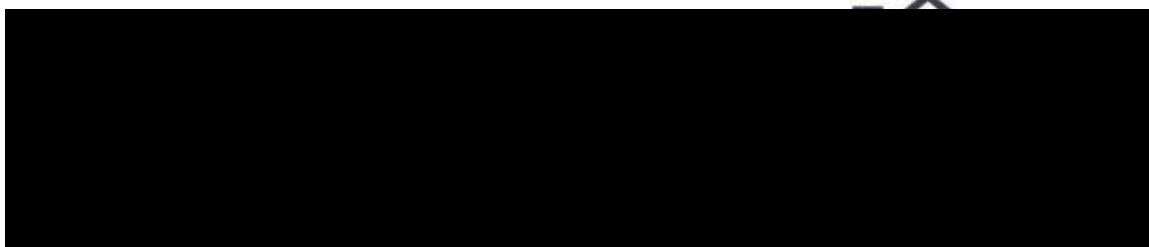
The image below shows the existing front elevation of both 29 & 31 Howard Drive.



29 & 31 Howard Drive, Letchworth Garden City.

The proposed extension to 29 Howard Drive, does not extend further than the existing front extension to 31 Howard Drive.

Appendix C – Supporting Statement (continued)



Therefore, the building line of the properties is kept consistent. The roof design of the proposed extension will match the extension of 31 Howard Drive; therefore, the proposed extension will be a seamless continuation of the existing extension to 31 Howard Drive.

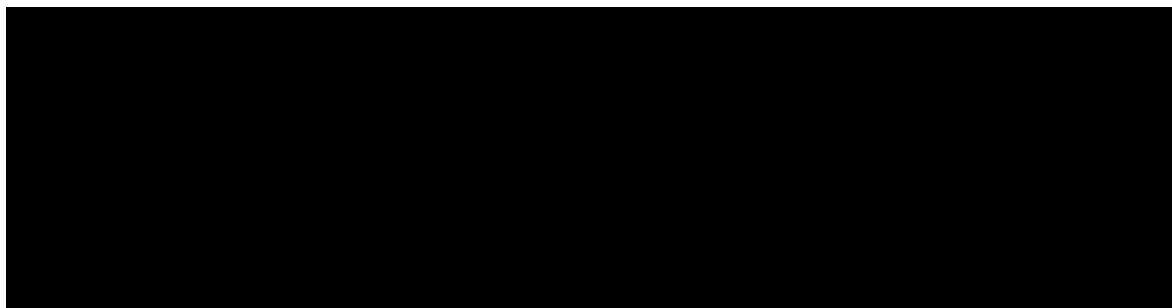
PRECEDENTS

Below are numerous examples of single storey front extensions, which have been built to similar properties, within close proximity to the application site. There are also examples of larger extensions, which have been permitted to the front elevation of similar properties.

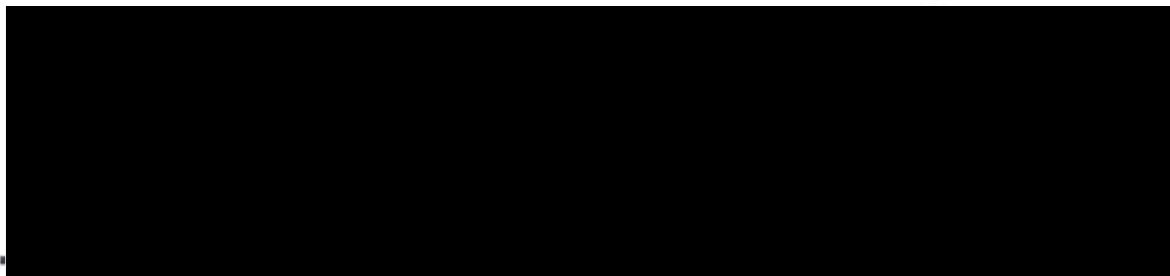
The precedents below provide evidence that a range of extensions to the front of this type of property have been approved over the years and this shows that the street scene within this part of Letchworth Garden City is varied with front extensions.



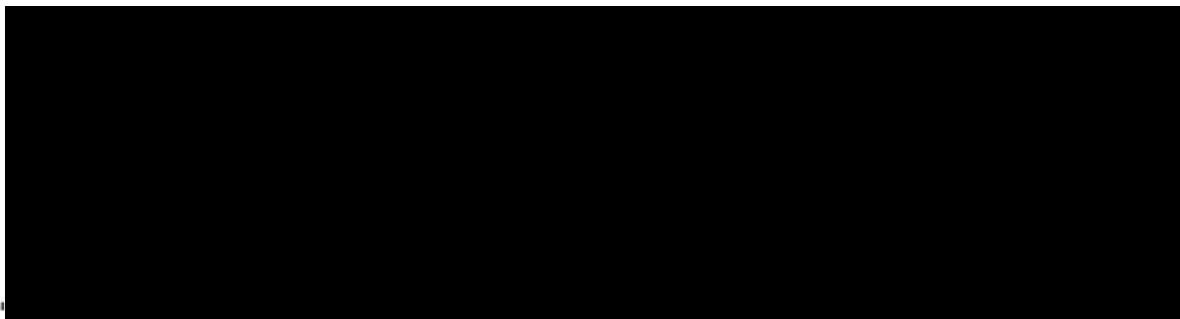
Appendix C – Supporting Statement (continued)



Appendix C – Supporting Statement (continued)



Appendix C – Supporting Statement (continued)



CONCLUSION

This document provides clear evidence of why this application should be supported, as there are many examples of extensions to the front elevation of numerous properties similar to 29 Howard Drive.

The current proposals are in-keeping with the host dwelling, as well as the adjoining neighbouring property. The proposed additional floor space, which would be provided if this application were approved, would make a huge difference to the quality of life of the applicants and their family.

Appendix D – Photographs



Front looking from 25 to 31



Front

Appendix D – Photographs (continued)



31 - 23