

Statement of Case

1. Introduction

1.1 This Statement of case is in support of our appeal for a Loft conversion above existing garage and addition of dormer to create additional bedroom, and ground floor rear extension to create larger kitchen at 11 Fouracres, Letchworth Garden City (original application reference Id:36689).

2. Background

2.1 The above application was submitted in Nov 2020 following a preapplication consultation with the Heritage Foundation. The formal application was refused by the Heritage Advice Service in Dec 2020. The decision to refuse was subsequently upheld by the Advisory Management Committee (AMC) at a further review in March 2021.

2.2 The reasons for refusal stated in the original decision letter are as listed below:

(i) Front Extensions:

Front extensions are discouraged.

Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.

The loft conversion will require the raising of the current roof to the single storey garage which will have an impact on the original design of the dwelling and the streetscene.

(ii) Dormers:

Dormers should be modest in relation to the area and slope of the roof and their scale should not dominate or upset the balance of any building elevations or the street scene.

The proposed dormer is overly large and dominates the elevation.

(iii) Side extensions:

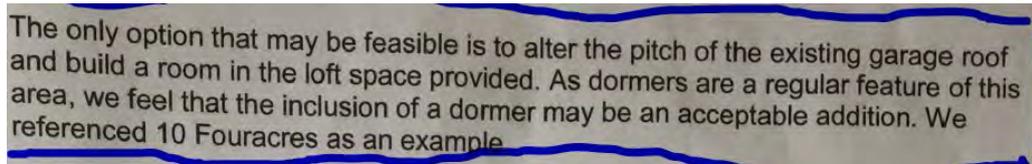
To maintain the open feel and space around detached and semi-detached dwellings, the side walls of proposed 2 storey and first floor side extensions shall be a minimum of 2 metres from a boundary.

As the garage is sited on the boundary of the plot, the 2-meter boundary rule cannot be adhered to.

3. Pre-application consultation with Heritage Foundation

3.1 Prior to submitting a formal application the applicant had undertaken extensive pre-application consultation with the Heritage Foundation. The key message identified from the consultation was to follow examples already established on the street, which has been incorporated subsequently into the proposals and explained in the following sections. Copies of full correspondence summarising the key conclusions have been attached in the appendix to this statement.

Excerpt from officer's letter to applicant dated 25th Feb 2019.



The only option that may be feasible is to alter the pitch of the existing garage roof and build a room in the loft space provided. As dormers are a regular feature of this area, we feel that the inclusion of a dormer may be an acceptable addition. We referenced 10 Fouracres as an example.

3.2 While it is appreciated that pre-app advice is informal only, the officer had visited site including the house and garden on several occasions prior to coming to the recommendation above, and we believe that he had the benefit of understanding the site and its possibilities well, something that has been difficult during the assessment of the application and the AMC assessment with the recent lockdowns and restrictions on site visits around the time. We therefore urge the appeal inspector to bear in mind the pre-app conversations we had with the officer (see appendix 1).

4. **Applicant's statement in response to reasons of refusal of original application**

4.1 The following section addresses the reasons for refusal stated in the decision letter to the original application (Id:36689) above and explains the applicant's view on the matter.

4.1.1 Reason for refusal (i):

Front Extensions:

Front extensions are discouraged.

Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group.

The loft conversion will require the raising of the current roof to the single storey garage which will have an impact on the original design of the dwelling and the streetscene.

Applicant's statement

While it is appreciated that raising of the current roof will be required, this has been designed to complement the architectural character of the original house.

Additionally as discussed at pre-app stage such an extension is not uncommon on the street, and the proposed design follows a precedent architectural typology that is already established in the area. The new ridge of the raised garage roof will be lower than the main roof and will sit subservient to the main structure. A box dormer to the front will be introduced to achieve the required internal space. This too sits comfortably within the roofspace and is designed to stay subservient. Properties at no. [REDACTED] and [REDACTED] Fouracres all have a front box dormer above garage or on the main roof (some photos are provided below- see fig 1, 2 & 3 below). The proposal has been carefully designed to replicate this in order to harmonise with the character and architectural style established on the street. The proposed design is therefore not considered to impact negatively on the original design of the house or the architectural character of the street as this follows an already established and successful architectural typology on the street.



Figure 1: Existing loft conversion with box dormer above garage at No. [REDACTED] Fouracres.



Figure 2: Existing loft conversion with box dormer above garage at no. [REDACTED] Fouracres.



Figure 3: Existing loft conversion with off-centred roof ridge and raised rear flank wall at no. [redacted] Fouracres.

While the loft conversion and dormer above the existing garage may be considered a front extension, the garage itself is set away from the street in relation to the main house and is therefore considered to cause minimal impact when viewed from the street. A number of hedges and small trees in front gardens obstruct views of the garage and proposed extension when approaching the property from the north on Fouracres. The visual impact of the proposed extension is therefore minimal when approaching the site from the north on Fouracres. See figure 4 below.



Figure 4: view of garage at [redacted] Fouracres behind neighbour's front hedges and trees as seen from north. This winter view shows the screening when the foliage is at its least. The photo also highlights that the garage is set away from the road.

4.1.2 Reason for refusal (ii):

Dormers:

Dormers should be modest in relation to the area and slope of the roof and their scale should not dominate or upset the balance of any building elevations or the street scene.

The proposed dormer is overly large and dominates the elevation.

Applicant's statement

As shown on the proposed elevation (see figure 3 below), the dormer is approx.3m wide and approx. 2.1m tall. This sits comfortably within the roof of the loft conversion and is designed to sit as subservient to the main and extended roof. Additionally, a number of such dormers of similar size can be seen on the street (see figure 1 & 2 above) and it is evident from these examples that these are not overly dominating the elevations of the respective houses.

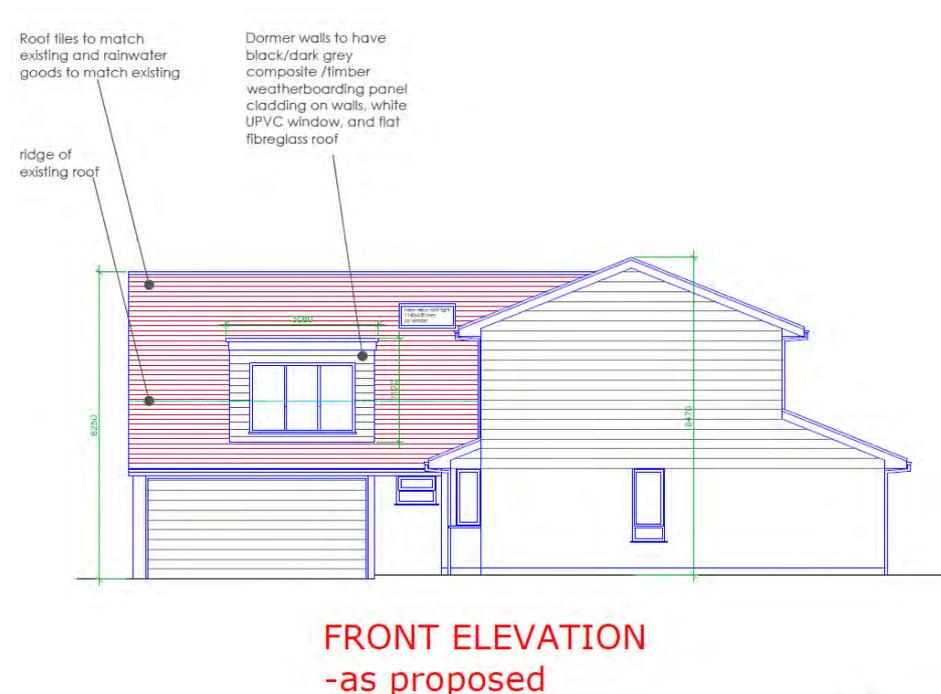


Figure 5: Proposed front elevation showing proposed dormer sitting comfortably within the proposed roofspace above garage.

4.1.3 Reason for refusal (iii):

Side extensions:

To maintain the open feel and space around detached and semi-detached dwellings, the side walls of proposed 2 storey and first floor side extensions shall be a minimum of 2 metres from a boundary.

As the garage is sited on the boundary of the plot, the 2-meter boundary rule cannot be adhered to.

Applicant's statement

While it is not possible in this situation to adhere to the 2m boundary rule, it is worth noting that the applicant's house and those of the immediate neighbours are not

arranged in a straight row. While such side extensions would have a significant impact on openness where houses are arranged along a straight line, it is considered that the organic arrangement of the detached houses at no. [REDACTED] and [REDACTED] helps to minimise such impact in the applicant's case. As one passes along the street at Fouracres, gaps between the dwellings at no. [REDACTED] and [REDACTED] and the resultant openness are evident at various angles of view along the curved street. The raising of the roof above the garage at no. [REDACTED] is considered to cause minimal impact to this openness owing to the organic arrangement of the houses and the applicant therefore urges that the merits of the specific situation in this case should be considered prior to making a decision.

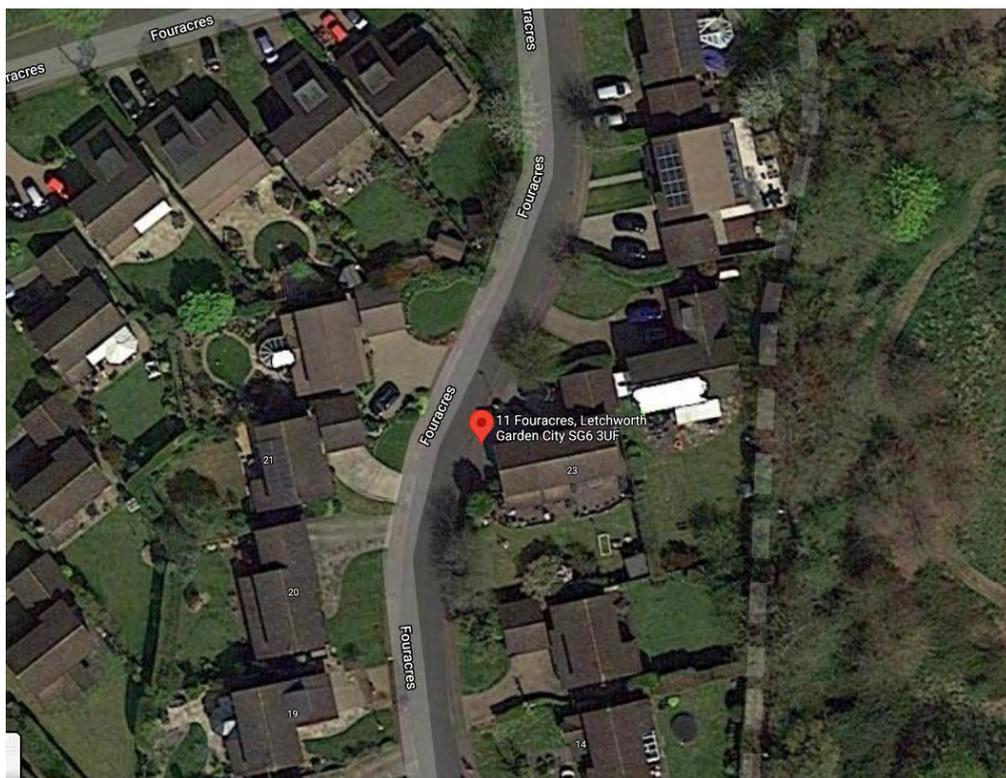


Figure 6: Aerial photo of site showing the organic arrangement of houses around the application site.

5. Applicant's Statement in response to Neighbour's comments to original application

5.1 A total of three letters of objection from neighbours were lodged during consultation on the original application. The following paragraphs address each of the concerns raised.

5.1.1 Concerns regarding parking:

"...this property resides near the top of the cul-de-sac and on a number of occasions the number vehicles owned by its residents results in the need to park along the road...increasing the size and therefore potentially the occupancy of this property will lead to an increase in the number of vehicles parked at the property by future residents of the property...hindering access to driveways and to the end of the cal-de-sac."

"This property has already been extended twice so that it now has no garden left at the front and only space to park 2 cars on the drive. This already causes an issue when there are 3 cars at the house as one has to always park on the road. If the property is

extended to make 6 bedrooms as proposed, additional cars will cause further problems. It has been extended width wise to within a metre of the pavement already."

"The driveway only has parking space for 2 cars - so one car was always parked in the road - making it difficult for any of visitors to back out of driveway as the road is narrow and on a bend. It was the only car ever parked in the road... fear that when the property is eventually sold - with 6 bedrooms it could create serious parking problems for other residents."

Applicant's response: The house is occupied by 5 residents (

Two of the existing bedrooms are very small at 2.2m x 3.3m. Besides, there is just one family toilet upstairs. The family's intention is to modify the first floor so that the layout and spaces are more suited to the needs of the . The intention is to add a new room as proposed above the garage, and also knock down an existing wall between the two existing smaller bedrooms to create one large bedroom. So effectively this house will remain a 5-bedroom house (see updated first floor plan submitted) and will have a family toilet as well as an ensuite attached to the new bedroom. We feel it is only reasonable that such modifications are considered in view of the changing needs of the family and requirement to work from home because of the restrictions around the recent lockdown and the permanent changes it has brought about to work culture . The family currently park both their cars on the driveway to the front, and it is only when they have visitors that cars are parked on the street, and it is not a regular practice. There are currently no parking restrictions applicable on the street and it is not considered that one or two visitor's cars occasionally on the quiet street will cause any disturbance to neighbours.

5.1.2 Concern regarding overshadowing:

"The garage is currently built right up to the edge of front and side garden forming part of the boundary between- if this is extended upwards it will adversely affect the light to garden...and patio at the back. It will make 2 high brick walls for ...to look at which find alarming. This is not what would expect of the Garden City ethos."

Applicant's response: From the description in the letter, it is understood that this concern may have been raised by a resident at no. Fouracres. Having assessed the relationship of the proposed extension with the house and garden at no. , we note that the garden to no. is to the south-east, and the proposed extension is located relatively north-west of the garden (see location plan in figure 6 below). Considering the sun-path it is unlikely that the proposed extension will cause any overshadowing to the patio and garden at no. . Besides no. already have a two - storey blank brick wall (see figure 5 below) that dominates the view when seen from the applicant's garden at no. . It is not considered that the proposed extension will cause any further impact to this situation.



Figure 7: View from applicant's garden showing garage to the left side of fence, and neighbour's tall blank wall at no. [REDACTED].

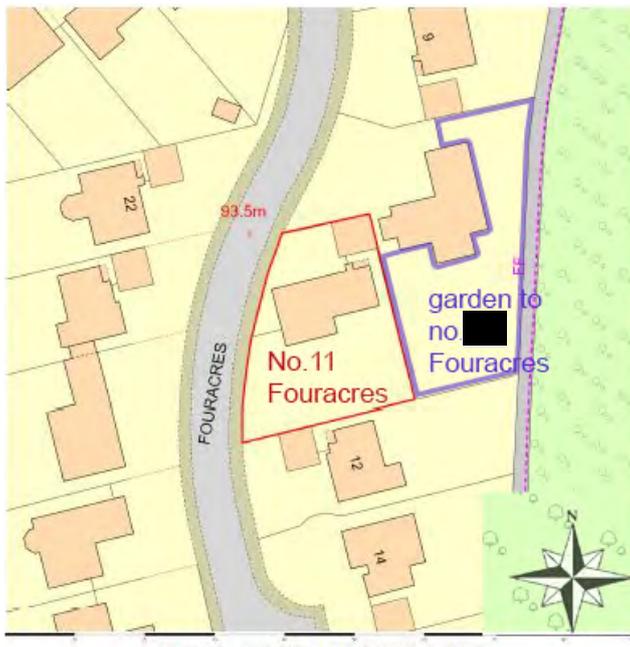


Figure 8: Location plan showing application site (no.11) marked in red outline, and garden to no. [REDACTED] marked in blue outline.

6. Extent of development in relation to original footprint

6.1 One of the concerns raised by the Heritage Foundation in subsequent email discussions following the refused application was regarding the extent of development in relation to original footprint of the house, and that the proposal was seen as overdevelopment.

Applicant's statement : As explained earlier, this house is occupied by 5 residents and the need for space for a bigger family including [REDACTED], [REDACTED] [REDACTED] requires this extension. In todays age when moving out is not an easy option with the cost of houses rising, the only viable

solution is to extend a current house. The intention is to work with the existing footprint rather than add an extension which will reduce the open space around the house and may have a greater impact on the openness of the area. Additionally, the applicant has noted a number of dwellings in the local area that have been extended in recent years to a much bigger scale in relation to original footprint. The applicant urges the appeal inspector to consider these precedent extensions when assessing this application. Some noteworthy precedents as provided by the applicant are listed below.

Precedents of large scale extensions in the local area.



Precedent 1 : [REDACTED], SG6 [REDACTED]



Precedent 2: [REDACTED], SG6 [REDACTED]



Precedent 3: [REDACTED] SG6 [REDACTED]



Precedent 4: [REDACTED] SG6 [REDACTED]

7. Summary:

7.1 As stated in the sections above, the proposal shows a sensitively designed extension that follows and complements the architectural character of the house and street. There is minimal impact on neighbour's amenity by this relatively small extension. The applicant requests that the appeals inspector should consider the matters raised above prior to drawing a conclusion on the appeal.

Appendix-1 – Pre application consultation -copies of letters/emails. (total of 8 pages)

Appendix- 2 – Proposal layouts and elevations including updated First Floor plan showing internal amendments proposed on first floor to retain property as five bedroom dwelling.

Appendix-1 – Pre application consultation -copies of letters/emails. (total of 8 pages)

Date: 25th February 2019

[REDACTED]
Letchworth Garden City
Hertfordshire
SG6 3UF

Dear [REDACTED]

Extension to 11 Fouracres, Letchworth Garden City

I refer to my meeting with your family regarding the possibility of extending your property further. We have now had opportunity to look into the history of the property and the reasoning for the refusal you received. The house has gone under the following alterations:

- Two Storey Front Extension March 1988; The size of the property was increased from a four bedroom with bathroom to a 4 bedroom with two bathrooms.
- Single Storey Side Extension, September 1999; A small side extension was added to link the house with the detached garage.
- Front Hard Standing (retrospective), December 2000; An application for retrospective consent for an unauthorised front hard standing was refused consent.

You applied for a 1st floor extension above the existing garage in May 2012. Consent for this was refused by the Board of Management in July 2012 and the AMC upheld that decision in November 2012.

The reasons given for refusal were,

- *The Design Standards for front extensions state: A front extension may be permitted in exceptional circumstances. The quality of the design will be crucial, and factors to be considered will be the:*
 1. *Relationship to the original house;*
 2. *Relationship to neighbouring houses;*
 3. *Depth and width of the front garden; and*
 4. *Proximity to the street frontage.*

It is felt that the proposed design bears no relationship with the original house or surrounding properties. The property has undergone two previous extensions and it is felt that the proposed addition would create an overdevelopment of the plot.

front

- The Design Standards also state: "Adding elements, including extensions, to the facades can impact on an attractive street scene. These can detract from the architectural value of the original and alter the relationship within a group of houses by:

1. Creating an unduly prominent form of development.
2. Disrupting the uniformity of the front building line".

- The property is in a prominent position in the street and it is felt that the addition of a first floor as proposed will create an unduly prominent form of development.

The proposed extension is in clear contravention to the Design Standards and would have a significant impact on the existing property and its setting.

Although this proposal is being viewed as a front extension, because of the orientation of the property to surrounding properties it is just as easily viewed as a side extension.

- The Design Standards for side extensions state:

Two storey side extensions are not encouraged but may be acceptable if:

1. The design relates well with the original and neighbouring houses; and
2. The proposed extension is at least 2 metres from the side boundary line.

The proposed is positioned 40 cm's from the boundary with number [REDACTED]
The existing gap and vista at first floor level will be removed should this proposal be granted consent.

It is our opinion that due to the position of the proposed extension above the garage the proposal would still be refused should it be considered today. It would sit directly in front of [REDACTED] removing the vista which currently exists between the properties and over the roof of the existing garage. It would form a cramped visual appearance between the two properties.

This property was originally a modest 3 bedroom with box room and one bath roomed house. If you were to obtain consent for the proposed works the size would have greatly increased from the original and would be considered an overdevelopment of this site.

During my meeting, your family pointed out examples within the estate which they felt set a precedent. I investigated a recent example but this was a different building type and as such bears no relevance to your own circumstances.

Having looked in the garden we do not feel that it would be practical to extend to the side as the garden is not large enough to take another extension.

The only option that may be feasible is to alter the pitch of the existing garage roof and build a room in the loft space provided. As dormers are a regular feature of this area, we feel that the inclusion of a dormer may be an acceptable addition. We referenced [REDACTED] as an example.

Please note that these comments are informal officer opinions in the context of the current Design Principles and made without prejudice to any final decision.

If you have any questions, I can be contacted on the telephone number below.

Yours sincerely

Christopher Shipman
Heritage Advisory Team
chris.shipman@letchworth.com
01462 476061

Chris
Graham Fisher
Mac Cole

ARCHITECTURAL DESIGN
1234 341945
MOBILE: 07973 248
Scale
1:100

From: [Christopher Shipman](#)
To: [REDACTED]
Subject: RE: 11 Fouracres - loft conversion above existing garage
Date: 06 July 2020 11:09:51

Dear [REDACTED],

In principle this may be acceptable, however, I would imagine there may be some resistance from neighbouring properties, therefore any application may have to go to the Householder Applications Committee for consideration. This property has been extended on a number of occasions and we have to be careful that it is not perceived as overdevelopment of the plot. I think the next step would be to make a formal application and see how it fares.

Regards Chris Shipman

From: [REDACTED]
Sent: 06 July 2020 11:04
To: Christopher Shipman <Christopher.Shipman@letchworth.com>
Subject: RE: 11 Fouracres - loft conversion above existing garage

Dear Chris,
Hope you had a good weekend.

Further to our discussion on the phone a week or so ago, just writing to ask if you had a chance to visit site, and if you had any further thoughts on the updated sketches we emailed you.

Best Regards

[REDACTED]

From: Christopher Shipman <Christopher.Shipman@letchworth.com>
Sent: 23 June 2020 10:12
To: [REDACTED]
Subject: RE: 11 Fouracres - loft conversion above existing garage

Thanks [REDACTED], I will have a look at this and get back to you.

Chris Shipman

From: [REDACTED]
Sent: 22 June 2020 23:35
To: Christopher Shipman <Christopher.Shipman@letchworth.com>
Subject: RE: 11 Fouracres - loft conversion above existing garage

Dear Chris,
Many thanks for your email response below. The space in the loft would be very small if we were to do a narrow dormer as in [REDACTED] - the lack of height in the room would mean that there wouldn't be much space in the room after placing a single bed. I therefore attach a variation of

the roof form for your consideration. This revised design allows the narrow dormer to the front but by shifting the ridge to the rear allows more height in the room (please see side elevation attached). My client are keen to understand if this would be acceptable? I also attach a photo of a neighbours house that have done a similar roof form to their extension.

Best Regards

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

From: Christopher Shipman <Christopher.Shipman@letchworth.com>

Sent: 25 February 2020 14:03

To: [REDACTED]

Subject: RE: 11 Fouracres - loft conversion above existing garage

Dear [REDACTED],

Thank you for your enquiry.

As you may be aware the owners of this property have tried to further extend this property on a number of occasions and are very close to overdevelopment of the plot.

The proposed is close to what I had in mind, however, the dormer is far too wide. If you could make this the same size as [REDACTED] we may be able to progress.

Please note that these comments are informal officer opinions in the context of the current Design Principles and made without prejudice to any final decision.

Regards Chris Shipman

From: [REDACTED]

Sent: 23 February 2020 21:54

To: Christopher Shipman <Christopher.Shipman@letchworth.com>

Cc: Letchworth Garden City Heritage Foundation <response@letchworth.com>; Home <home@letchworth.com>

Subject: 11 Fouracres - loft conversion above existing garage

Dear Chris,

I write as agent on behalf of my client [REDACTED] at 11 Fouracres, and in response to your letter

to [REDACTED] dated 25th February 2019. You had a meeting with my client back then to discuss the possibility of extending the property and reasons for refusal of a previous application for a first floor extension above the existing garage. You had in the letter made an alternative suggestion about what may be acceptable, stating that *“the only option that may be feasible is to alter the pitch of the existing garage roof and build a room in the loft space provided. As dormers are a regular feature of this area, we feel that the inclusion of a dormer may be an acceptable addition. We referenced [REDACTED] as an example.”*

We have considered the above stated suggestion and have worked out a design in sketch form that may work for our client while according with your suggestion above. Please see drawings (part plan, and front, side and rear elevations) attached. In the sketches we have shown the ridge of the garage roof raised, and the addition of a dormer to create room for a bedroom and ensuite above the garage.

My client is keen to understand whether your team would find the design as sketched acceptable. If yes, we could then proceed and detail out the package for a full submission.

Please feel free to phone/email me on the contact details provided below if you need to discuss this further.

Best Regards

[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

[REDACTED]
[REDACTED]
[REDACTED]

[REDACTED]

Registered office: Letchworth Garden City Heritage Foundation, One Garden City,
Broadway, Letchworth Garden City SG6 3BF

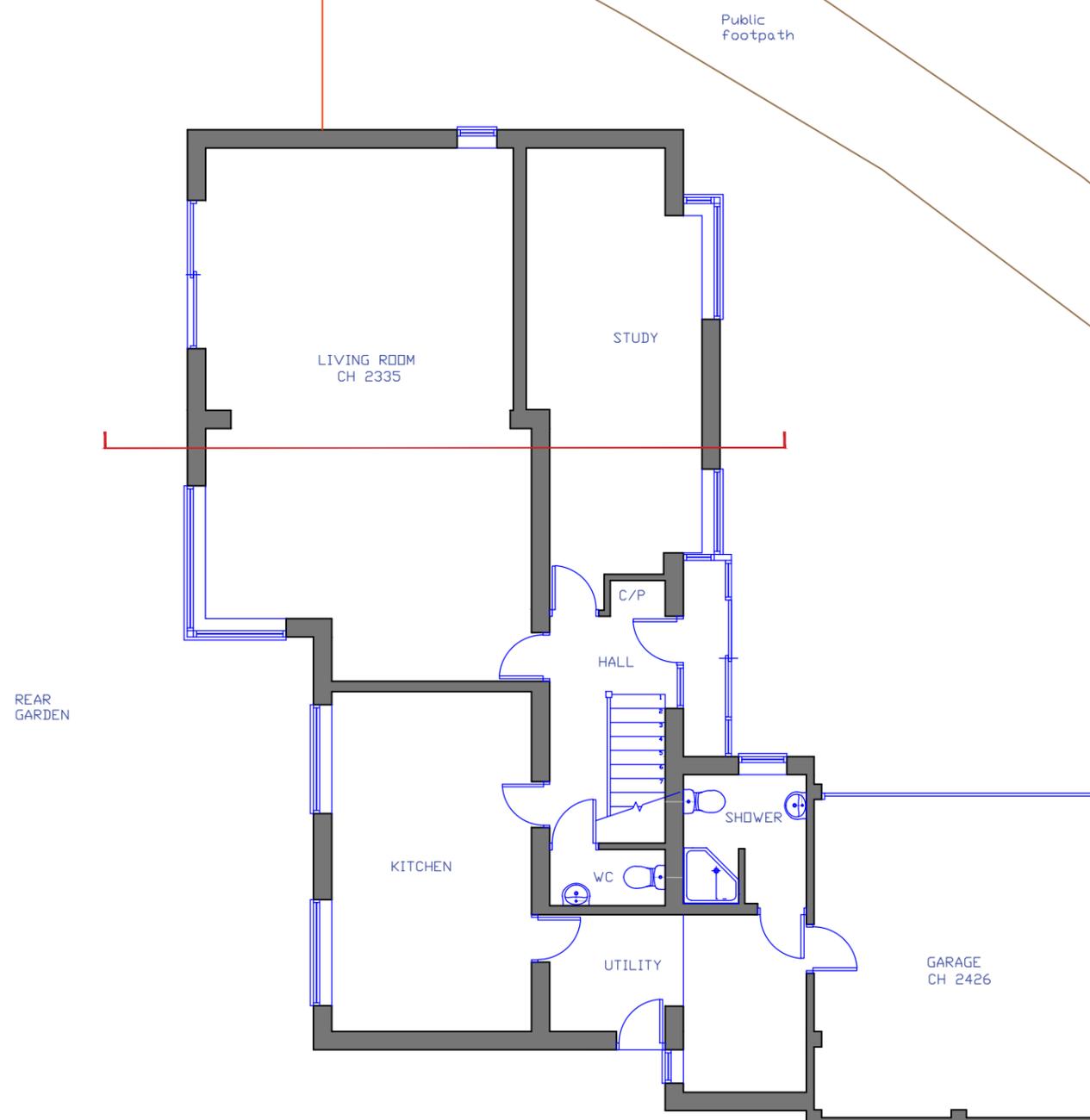
Registration Number: 28211R

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Note: All dimensions are in mm unless stated otherwise



SITE PLAN-as existing

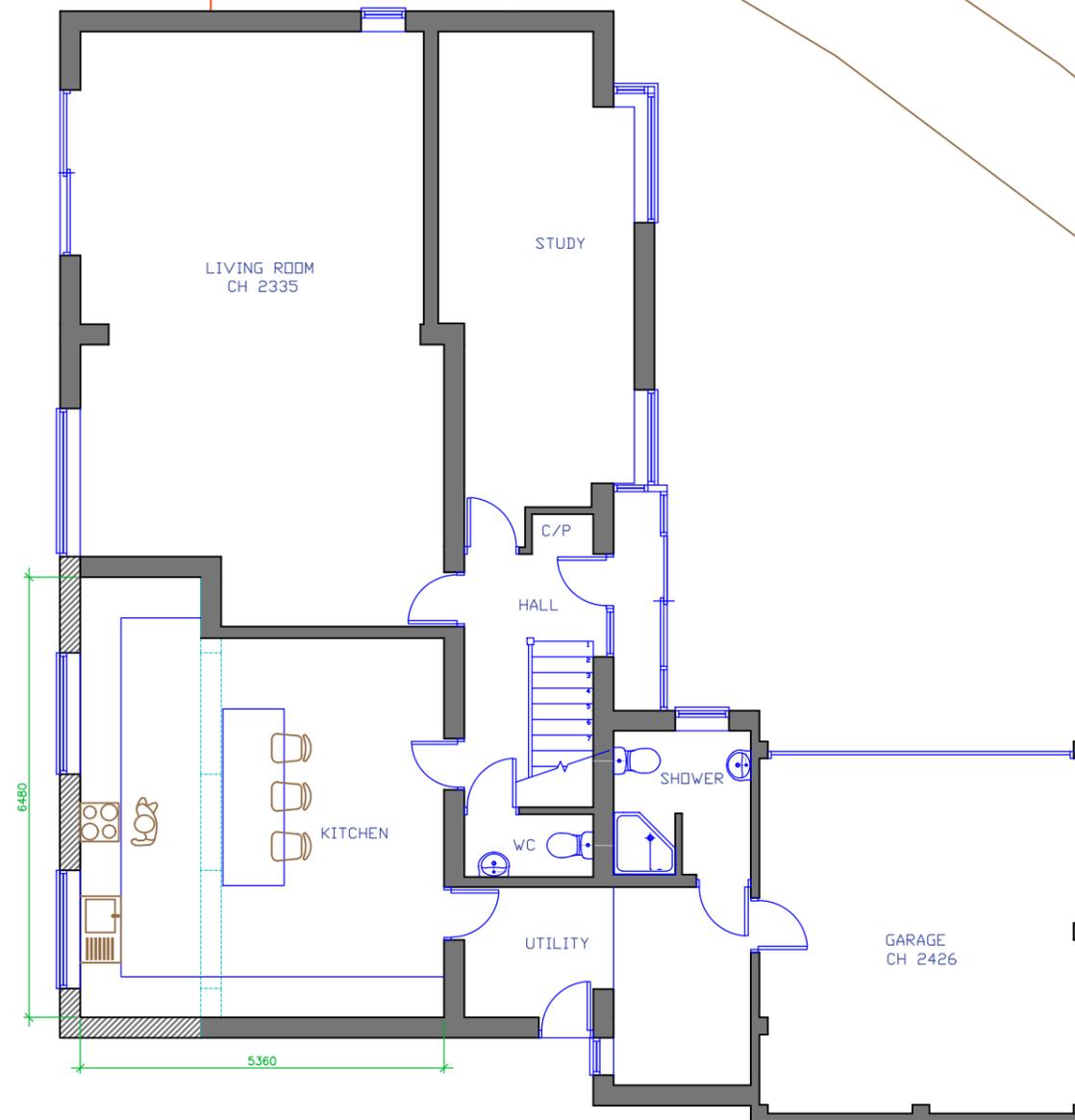
Prepared by: [REDACTED]	
Address: 11, Fouracres SG6 3UF	
Drawing name: Site Plan: As Existing	
Scale: 1:100 @ A3	Date drawn: Oct. 2020
Drawing number: 11FAR-FP100 Rev 00	



Note: All dimensions are in mm unless stated otherwise

Public footpath

REAR GARDEN



**SITE PLAN-as
PROPOSED**

Prepared by:

Address:
11, Fouracres
SG6 3UF

Drawing name:
Site Plan: As Proposed

Scale: 1:100 @ A3	Date drawn: Oct. 2020
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Drawing number:
11FAR-FP200
Rev 00

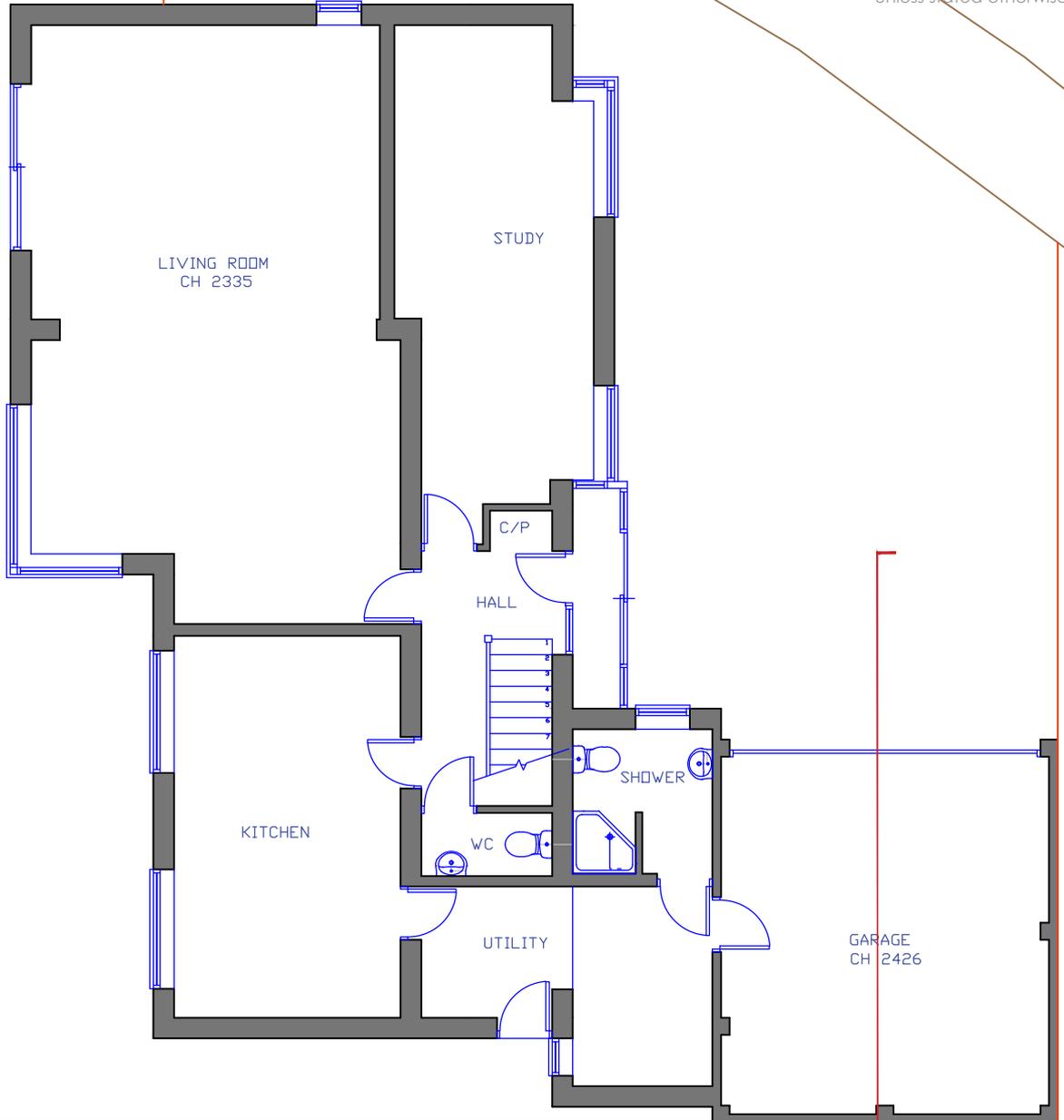


Public
footpath



Note: All dimensions are in mm
unless stated otherwise

REAR
GARDEN



GROUND FLOOR-as existing

Prepared by: [REDACTED]	
Address: 11, Fouracres SG6 3UF	
Drawing name: Ground Floor Plan: As Existing	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FAR-FP110 Rev 00	



Public
footpath

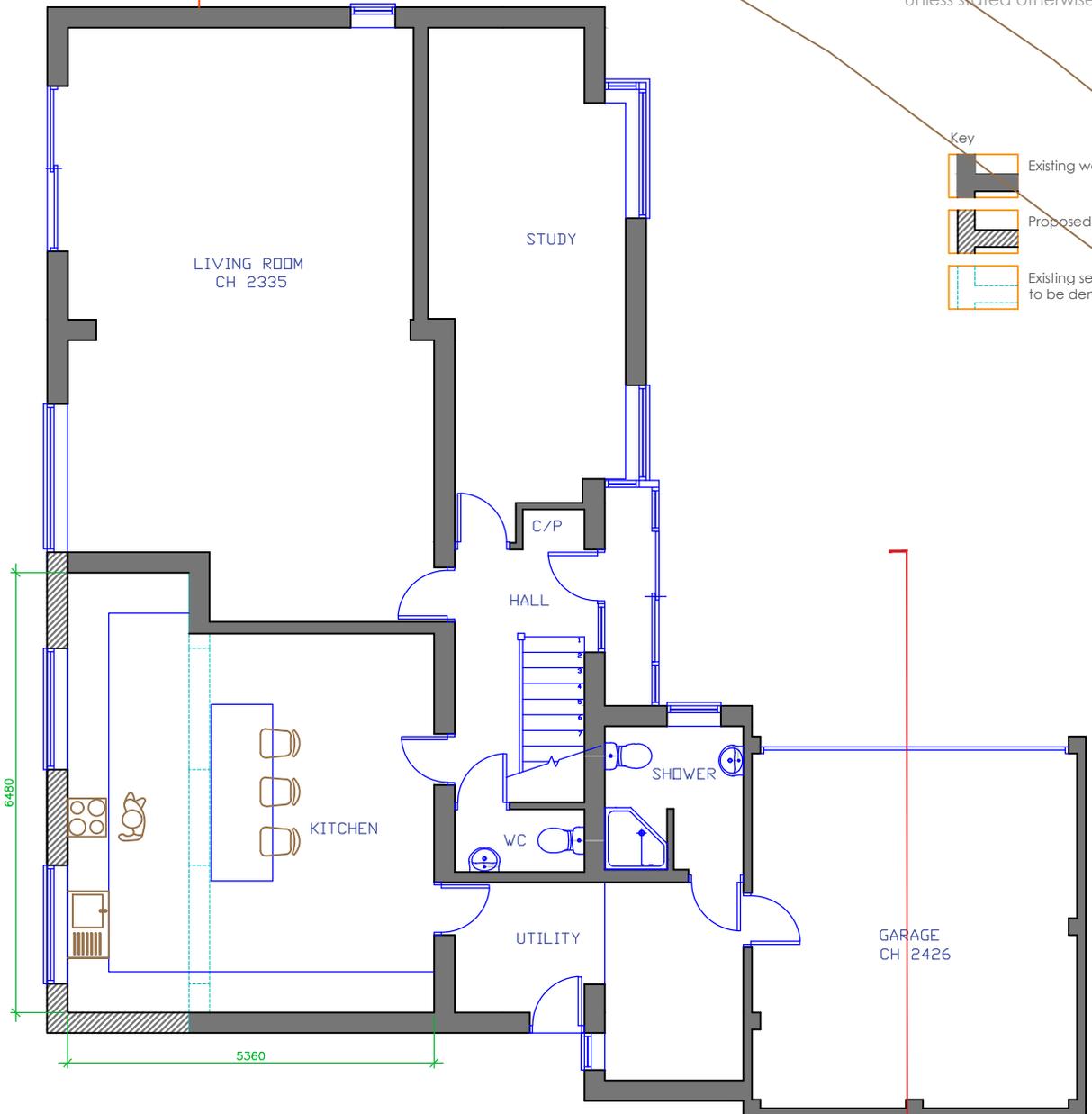


Note: All dimensions are in mm
unless stated otherwise

Key

- Existing wall
- Proposed wall
- Existing section of wall to be demolished

REAR
GARDEN



GROUND FLOOR-as proposed

Prepared by: 	
Address: 11, Fouracres SG6 3UF	
Drawing name: Ground Floor Plan: As Proposed	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FAR-FP210 Rev 00	



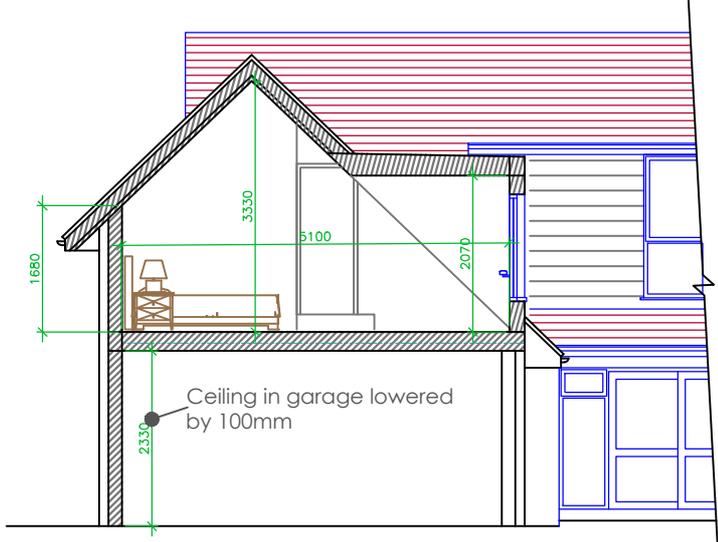
Note: All dimensions are in mm unless stated otherwise



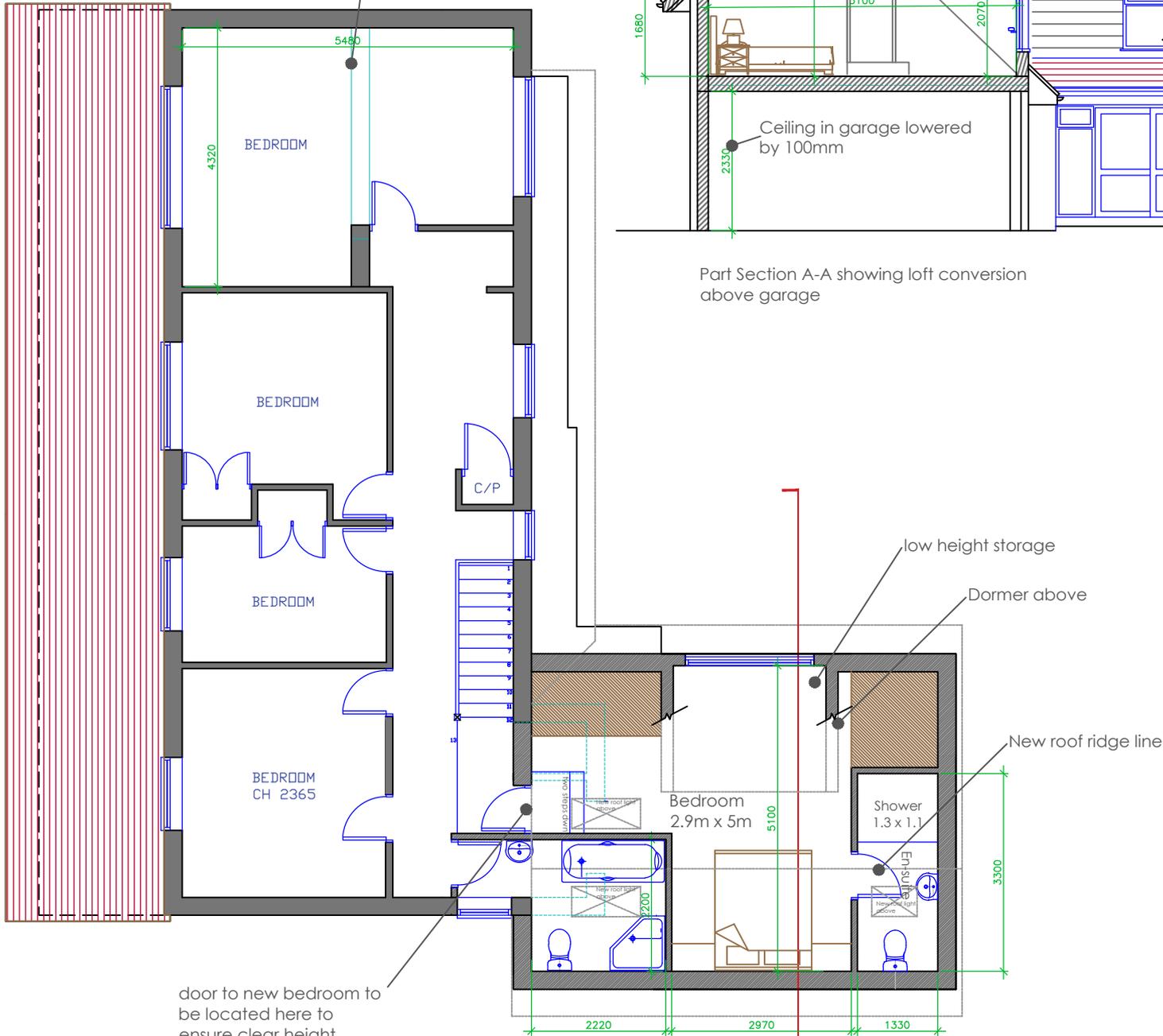
FIRST FLOOR-as existing

Prepared by: 	
Address: 11, Fouracres SG6 3UF	
Drawing name: First Floor Plan: As Existing	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FA-FP111 Rev 00	

existing wall to be demolished to create one larger bedroom



Part Section A-A showing loft conversion above garage



door to new bedroom to be located here to ensure clear height under new roof is atleast 2m for door clearance

FIRST FLOOR-as proposed

- Key
-  Existing wall
 -  Proposed wall
 -  Existing section of wall to be demolished

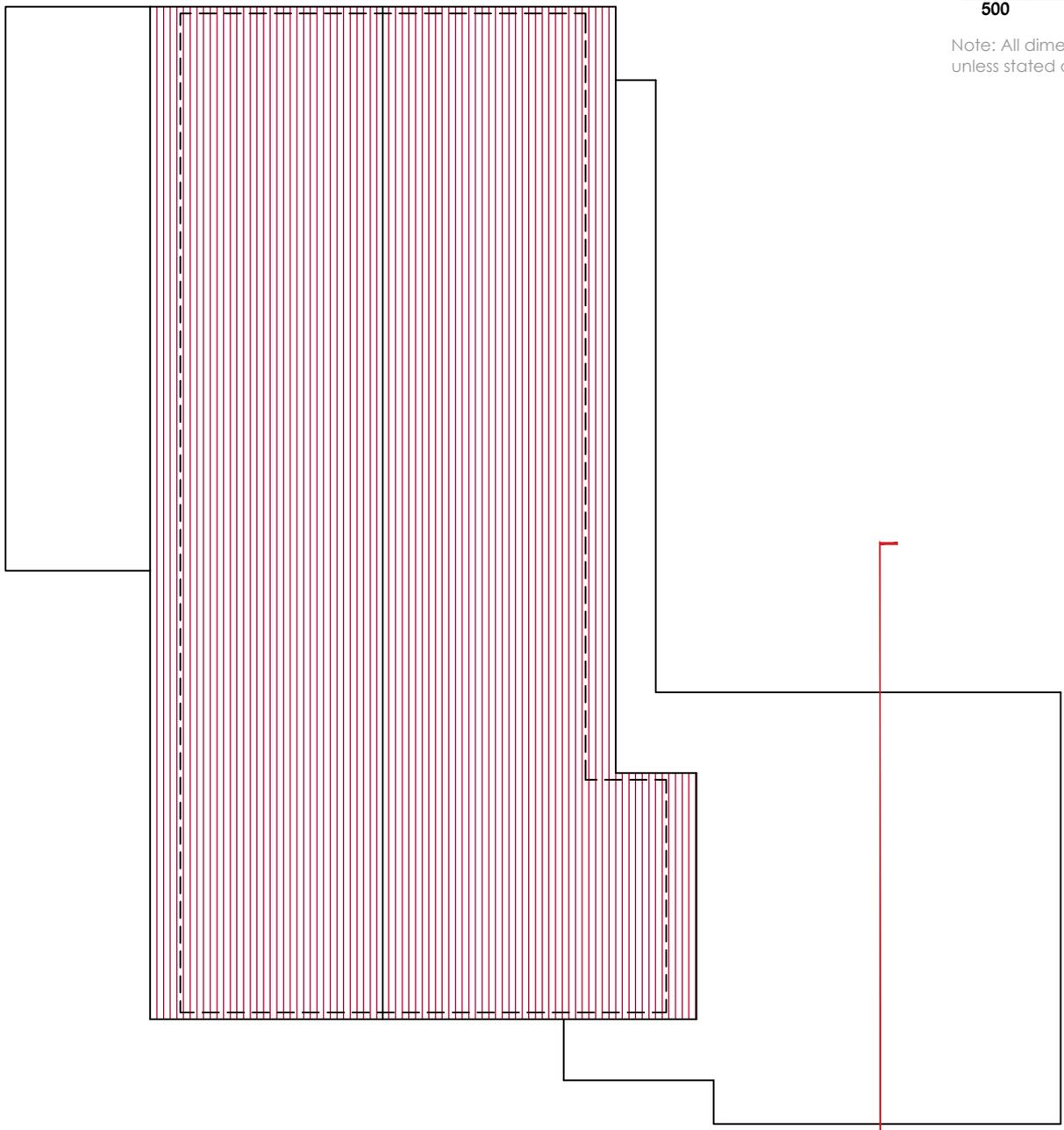


Note: All dimensions are in mm unless stated otherwise

Prepared by: 	
Address: 11, Fouracres SG6 3UF	
Drawing name: First Floor Plan: As Proposed	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FA-FP211 Rev 01	



Note: All dimensions are in mm unless stated otherwise

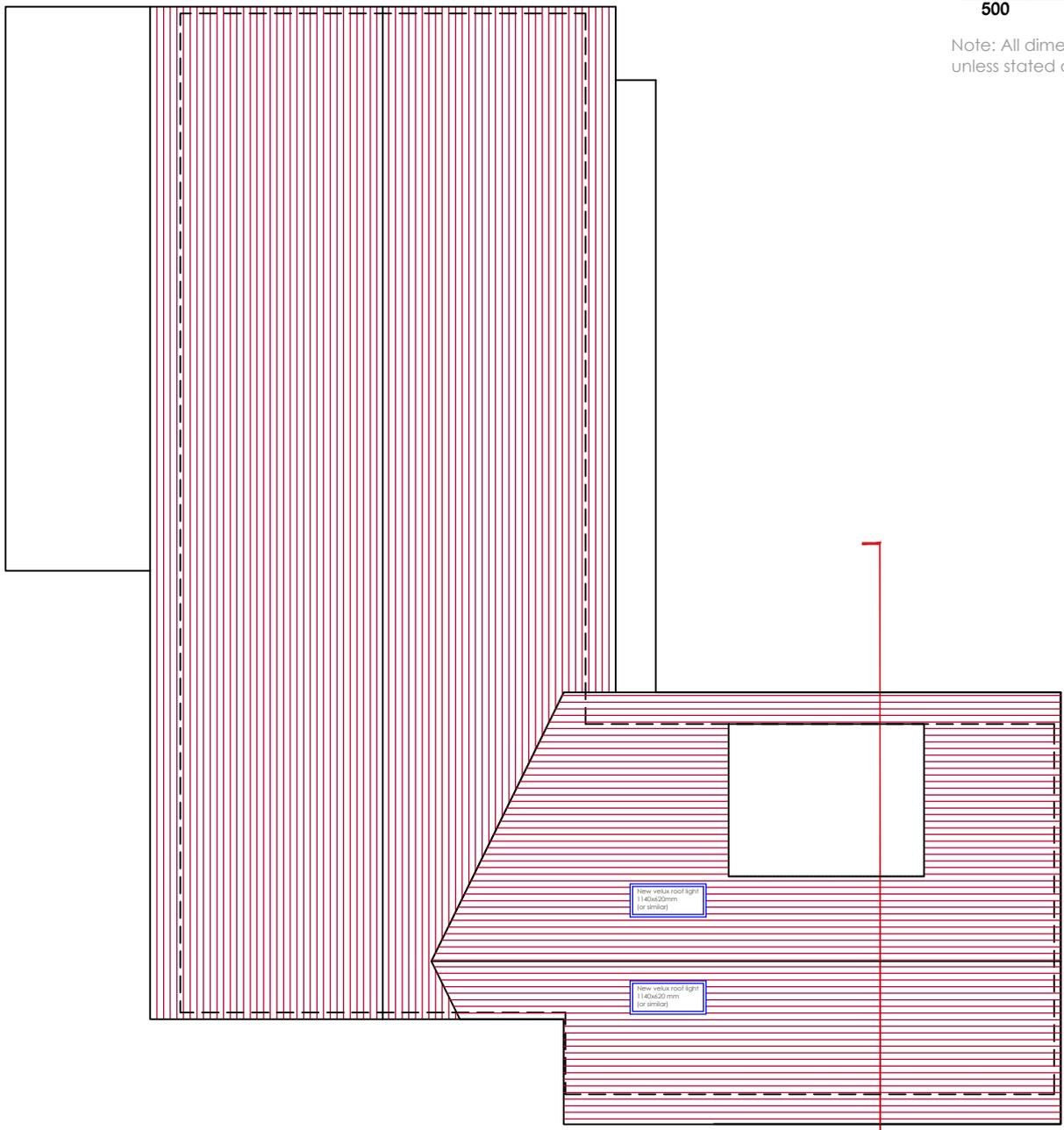


ROOF PLAN-as existing

Prepared by: 	
Address: 11, Fouracres SG6 3UF	
Drawing name: Roof Plan: As Existing	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FA-FP112 Rev 00	



Note: All dimensions are in mm unless stated otherwise



New velux roof light
1140x203mm
(see schedule)

New velux roof light
1140x203mm
(see schedule)

ROOF PLAN-as proposed

Prepared by: 	
Address: 11, Fouracres SG6 3UF	
Drawing name: Roof Plan: As Proposed	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FA-FP212 Rev 00	



FRONT ELEVATION
-as existing



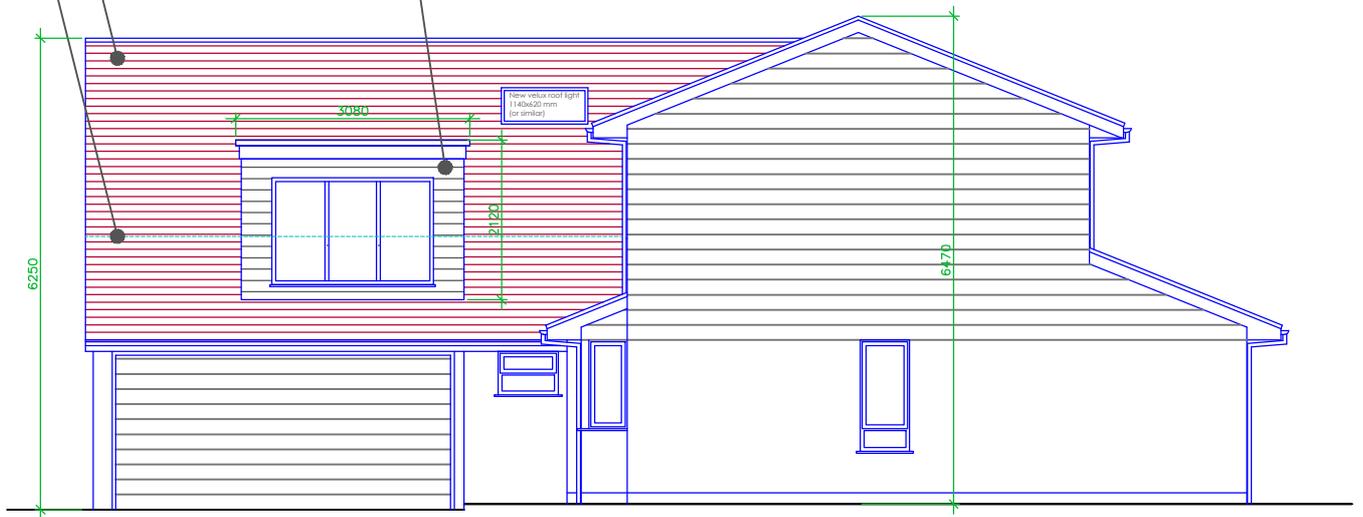
Note: All dimensions are in mm unless stated otherwise

	
Address: 11, Fouracres SG6 3UF	
Drawing name: Front Elevation: As Existing	
Scale: 1:100 @ A4	Date drawn: Oct. 2020
Drawing number: 11FA-FP120 Rev 00	

Roof tiles to match existing and rainwater goods to match existing

Dormer walls to have black/dark grey composite /timber weatherboarding panel cladding on walls, white UPVC window, and flat fibreglass roof

ridge of existing roof



FRONT ELEVATION -as proposed



Note: All dimensions are in mm unless stated otherwise

Prepared by:

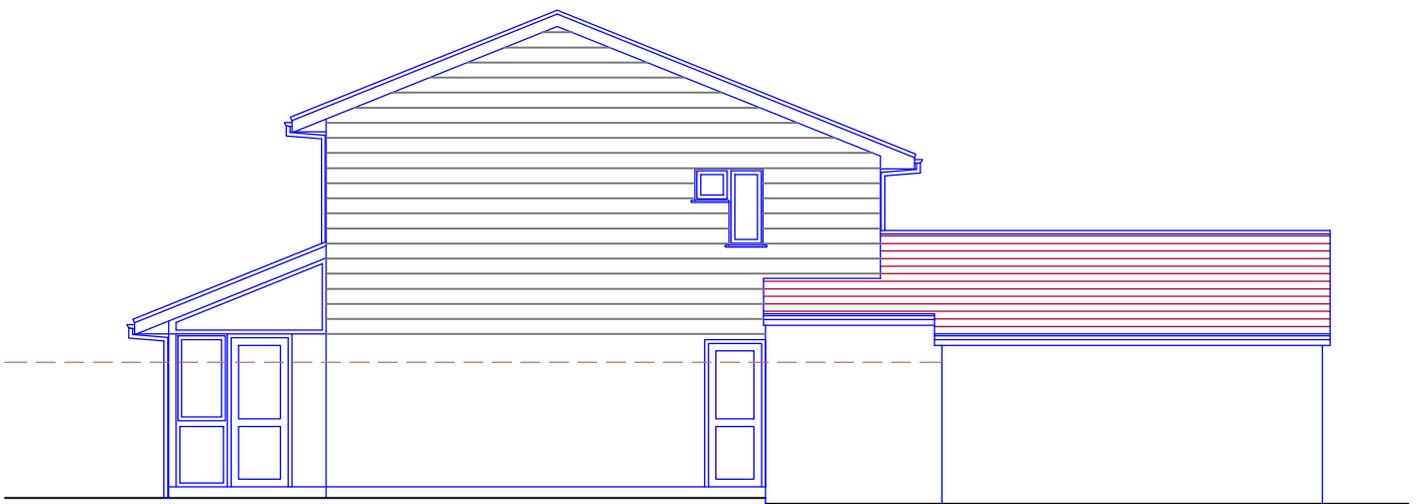
Address:
11, Fouracres
SG6 3UF

Drawing name:
Front Elevation: As
Proposed

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP220
Rev 00



**REAR ELEVATION
-as existing**



Note: All dimensions are in mm
unless stated otherwise

Prepared by:

Address:
11, Fouracres
SG6 3UF

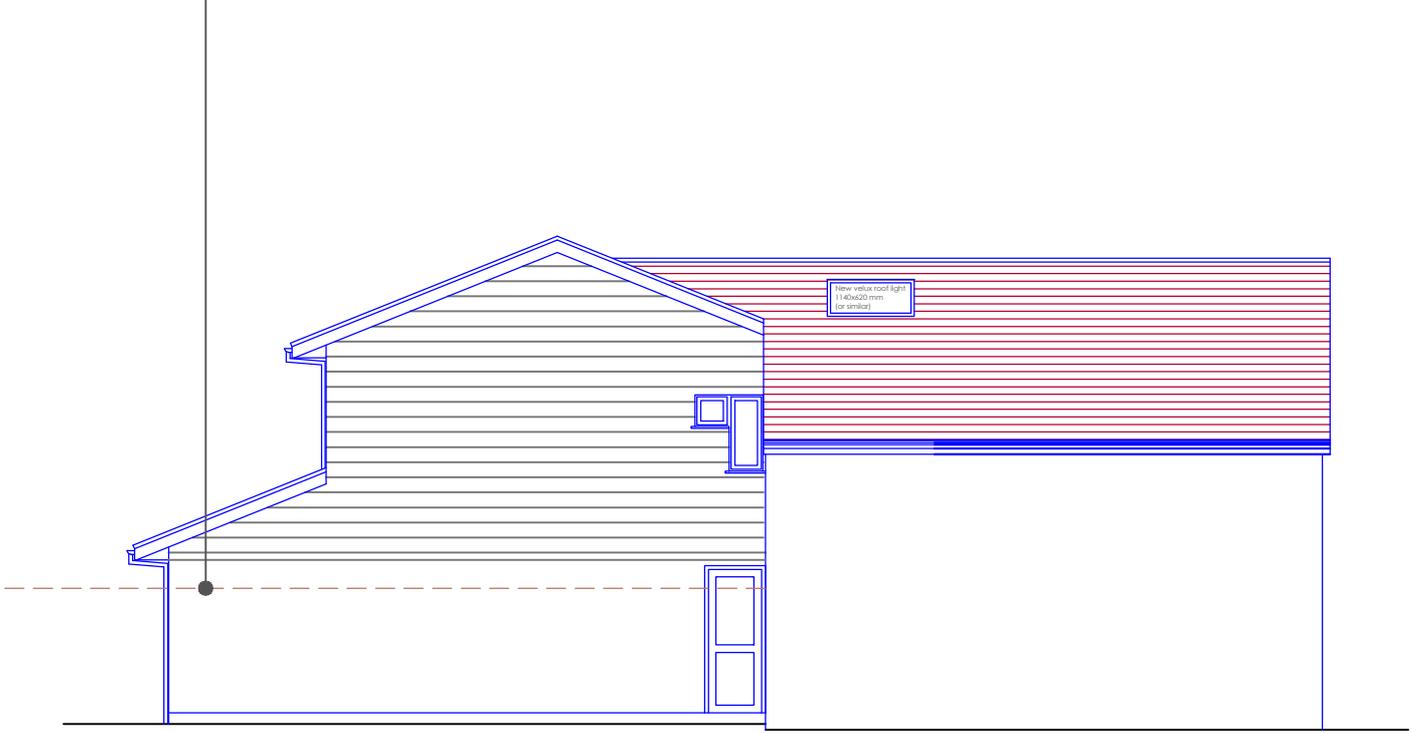
Drawing name:
Rear Elevation: As
Existing

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP122
Rev 00

Existing 1.8m high timber fence



REAR ELEVATION -as proposed



Note: All dimensions are in mm unless stated otherwise

Prepared by:

Address:
11, Fouracres
SG6 3UF

Drawing name:
Rear Elevation: As
Existing

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP222
Rev 00



SIDE ELEVATION-1 -as existing



Note: All dimensions are in mm
unless stated otherwise

Prepared by:

Address:
11, Fouracres
SG6 3UF

Drawing name:
Side elevation-1 : As
Existing

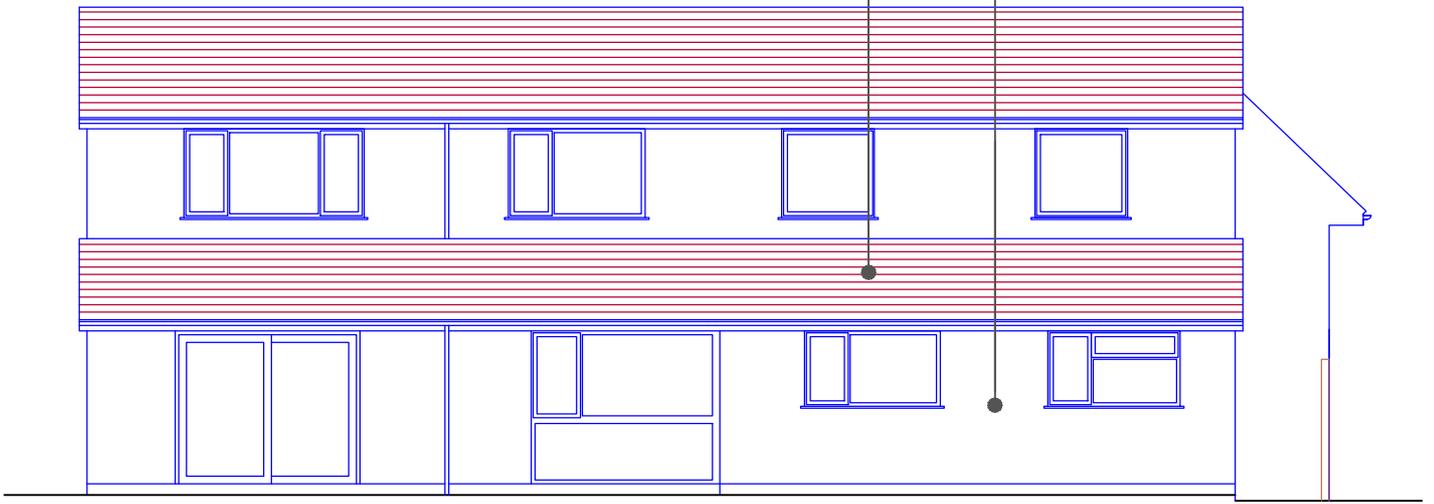
Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP121
Rev 00

New roof of extension to join up with existing roof

kitchen extension to have brickwork ,rooftiles and UPVC windows, and rainwater goods all to match existing house



SIDE ELEVATION-1 -as proposed



Note: All dimensions are in mm unless stated otherwise

Prepared by:

Address:
11, Fouracres
SG6 3UF

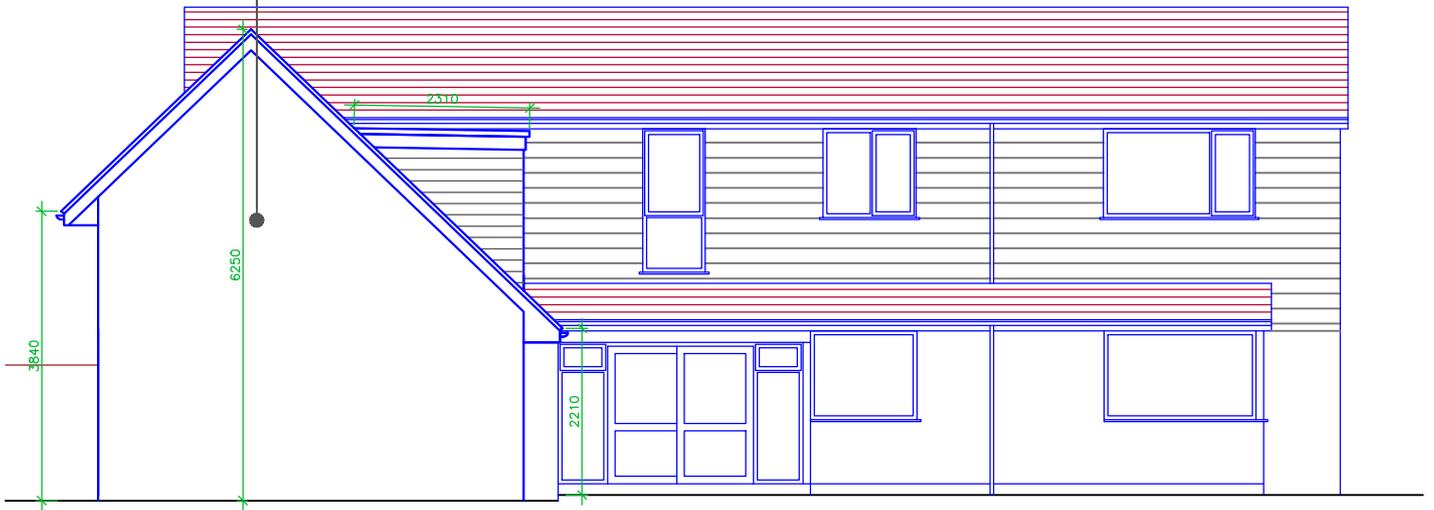
Drawing name:
Side elevation-1 : As
Existing

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP221
Rev 00

blank gable wall to have
brickwork to match
existing house.



SIDE ELEVATION-2 -as proposed



Note: All dimensions are in mm
unless stated otherwise

Address:
11, Fouracres
SG6 3UF

Drawing name:
Side elevation-2 : As
Proposed

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP223
Rev 00



SIDE ELEVATION-2 -as existing



Note: All dimensions are in mm
unless stated otherwise

Prepared by:

Address:
11, Fouracres
SG6 3UF

Drawing name:
Side elevation-2 : As
Existing

Scale:
1:100 @
A4

Date drawn:
Oct. 2020

Drawing number:
11FA-FP123
Rev 00

ROOFLIGHTS (SECTION)

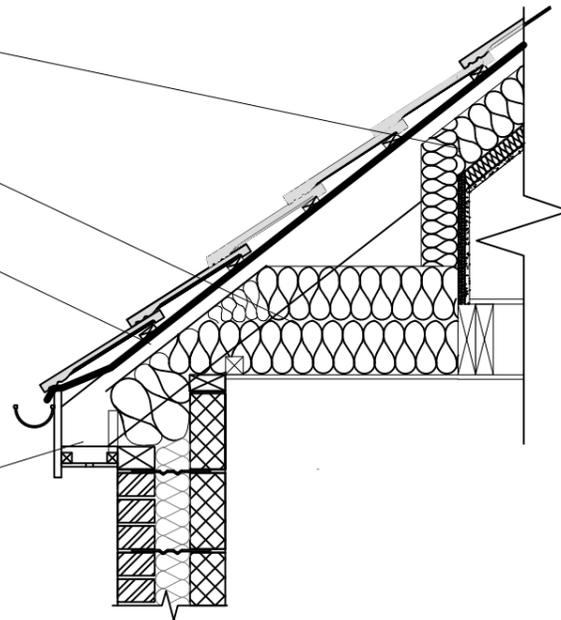
EAVES DETAIL FOR LOFT CONVERSION

Ensure insulation is installed tightly between the rafters and over rafters to prevent thermal bridging

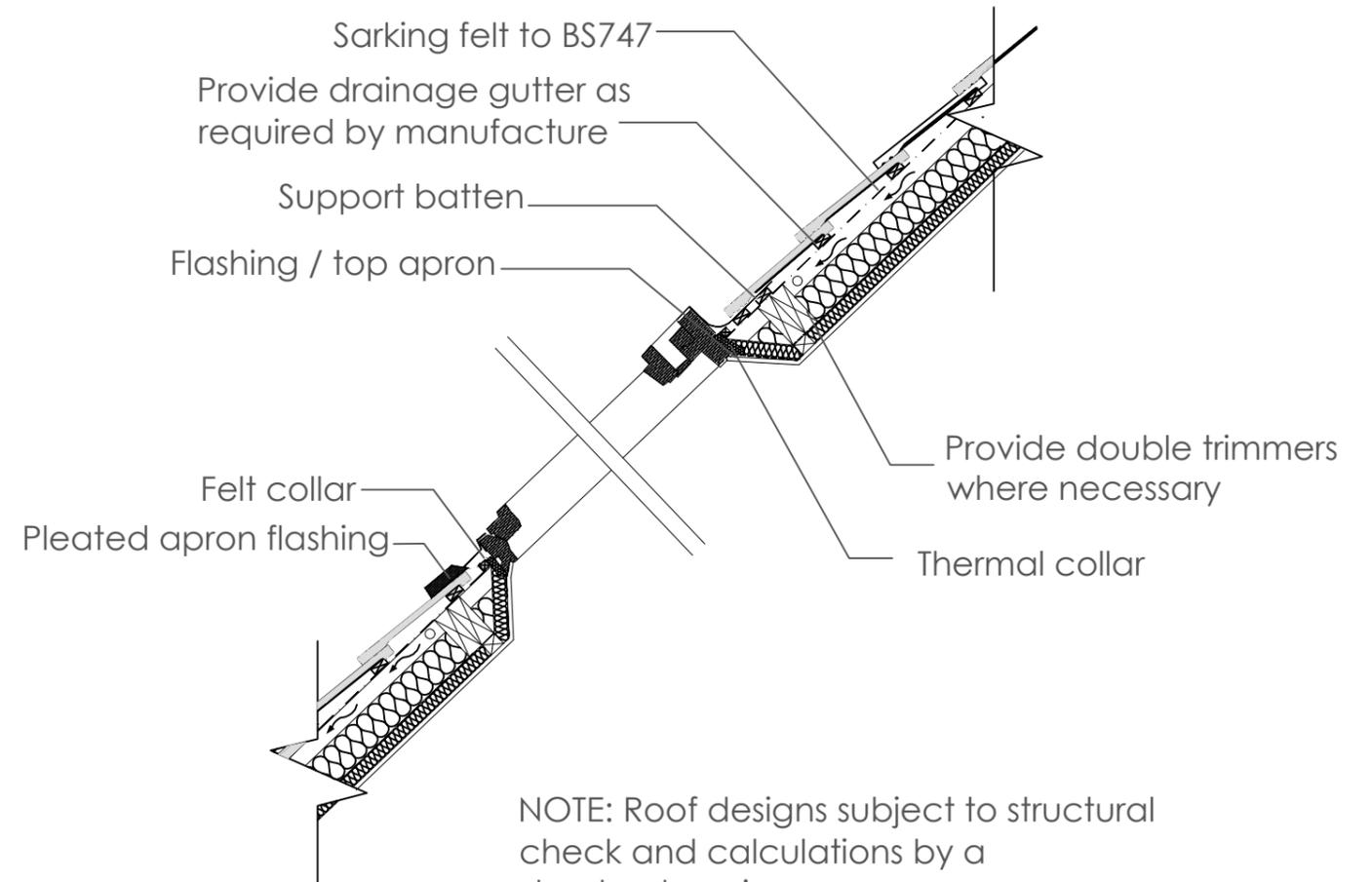
Ensure continuity of insulation

Eaves ventilator tray to ensure a 50mm ventilation gap

Cross ventilation to be provided by a proprietary eaves ventilation strip equivalent to a 25mm continuous gap at eaves level with insect grill and 50mm air gap between felt and insulation



Rooflight installed in accordance with manufactures details



NOTE: Roof designs subject to structural check and calculations by a structural engineer

Note: All dimensions are in mm unless stated otherwise

Prepared by:



Address:

11, Fouracres
SG6 3UF

Drawing name:

Construction Detail-1

Scale:

1:20 @ A3

Date drawn:

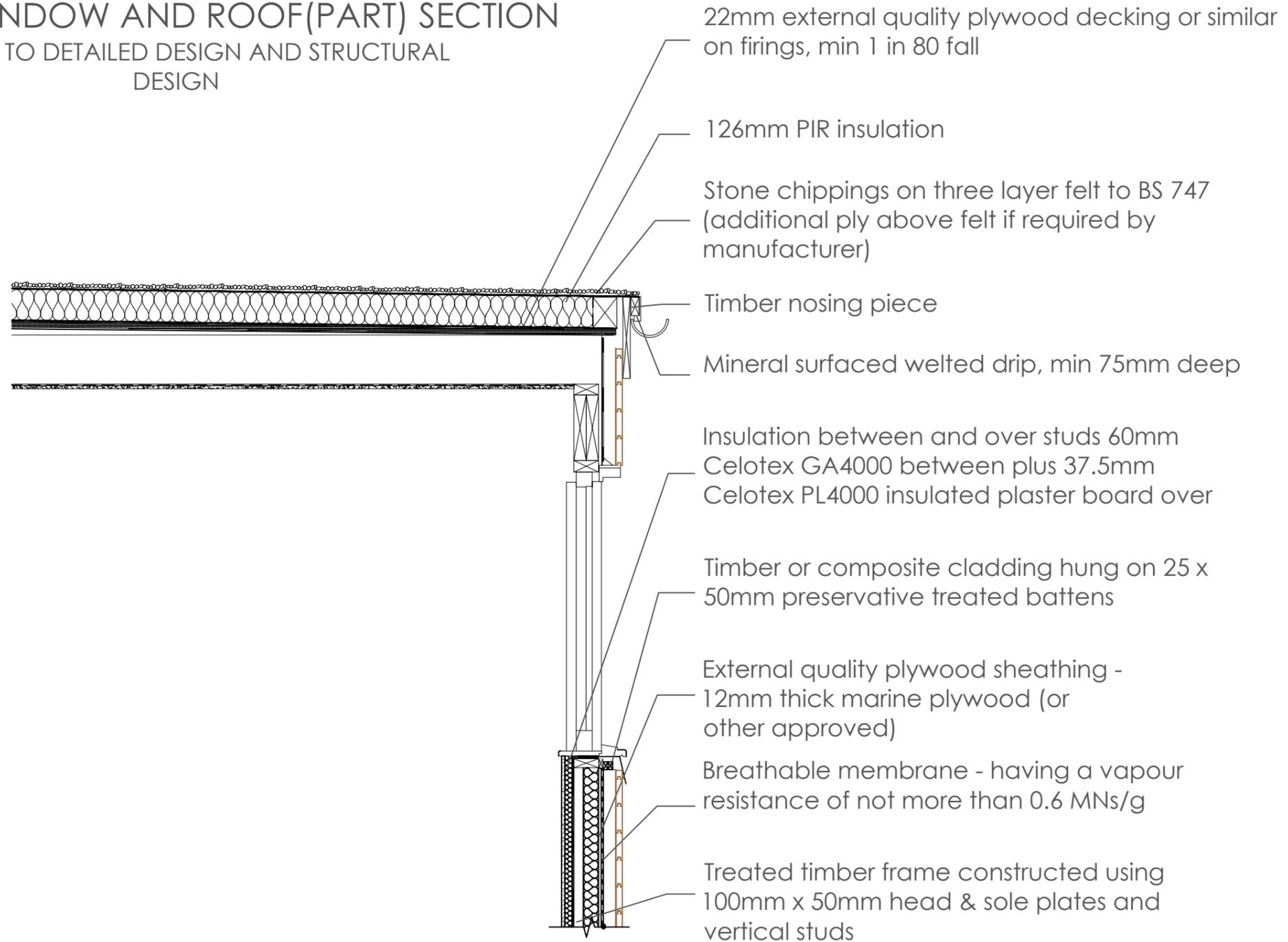
Oct. 2020

Drawing number:

11FA-CD01
Rev 00

DORMER WINDOW AND ROOF(PART) SECTION

SUBJECT TO DETAILED DESIGN AND STRUCTURAL DESIGN



Note: All dimensions are in mm unless stated otherwise

Prepared by: [REDACTED]	
Address: 11, Fouracres SG6 3UF	
Drawing name: Construction details- 2	
Scale: 1:20 @ A3	Date drawn: Oct. 2020
Drawing number: 11FA-CD02 Rev 00	