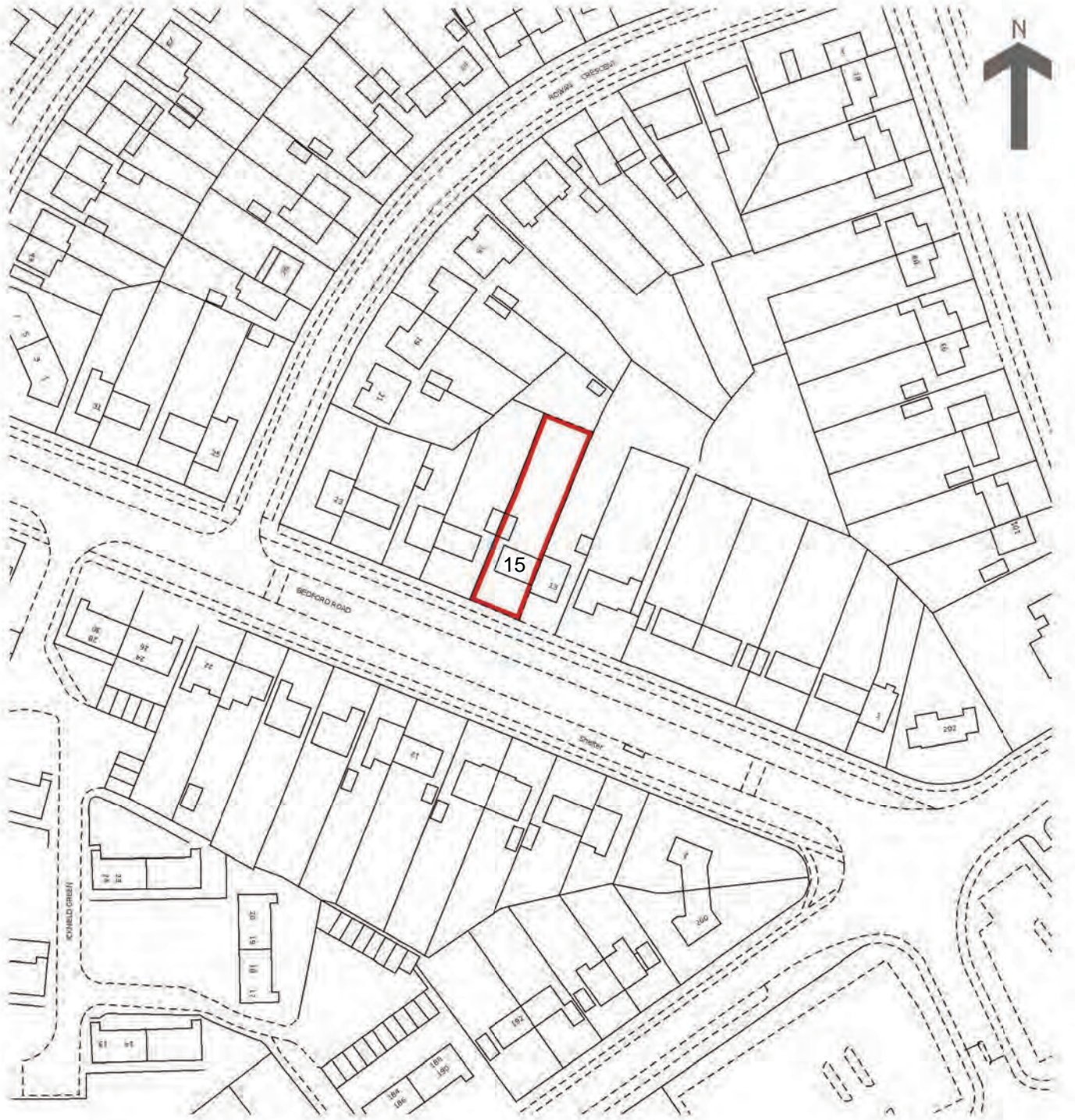
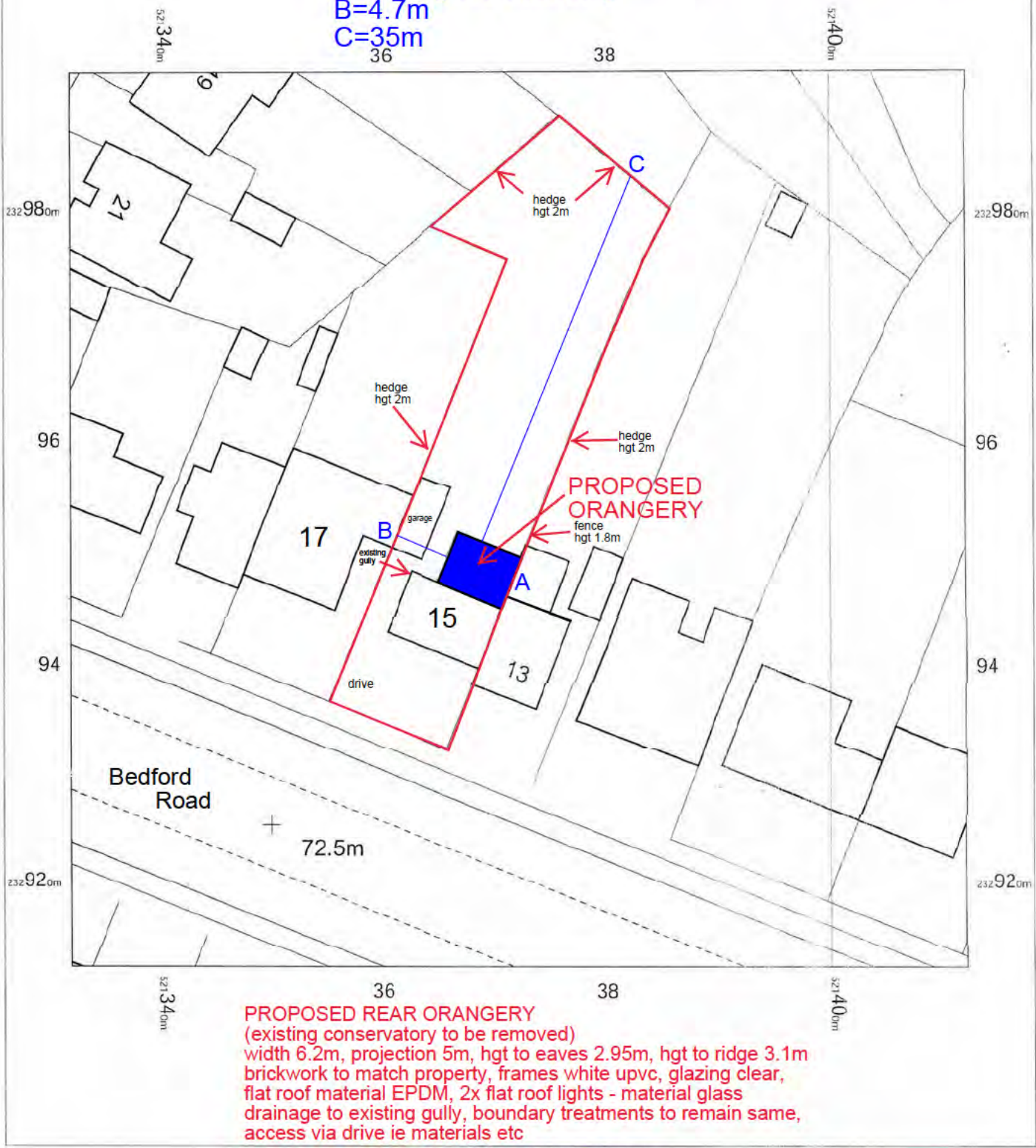


LOCATION MAP SCALE 1:1250@a4



15 Bedford Road Letchworth Garden City Hertfordshire SG6 4DJ

Note Distance to Boundary
 A=attaching to boundary (party) wall, no guttering to overhang the boundary
 B=4.7m
 C=35m



OS MasterMap 1250/2500/10000 scale
 Sunday, March 12, 2023, ID: CM-01091777
 www.centremapslive.co.uk

1:500 scale print at A4, Centre: 521372 E, 232953 N

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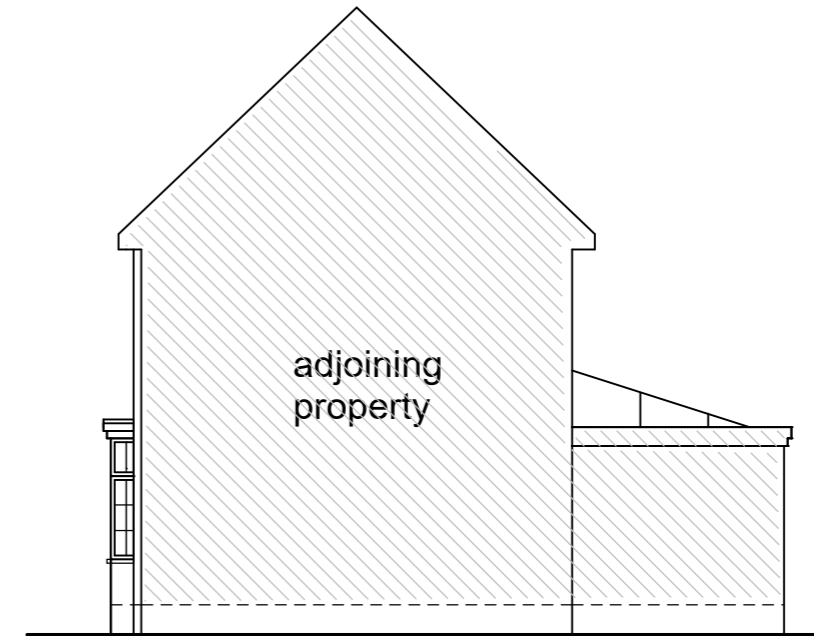




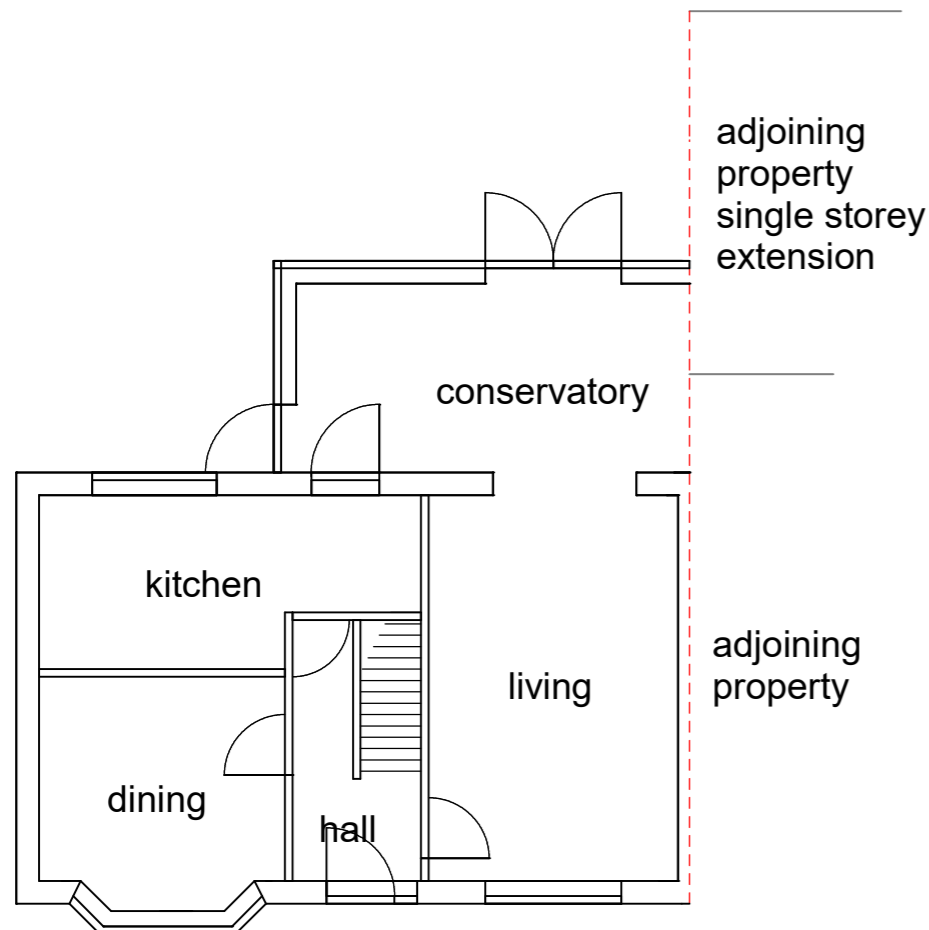
front (southwest) elevation



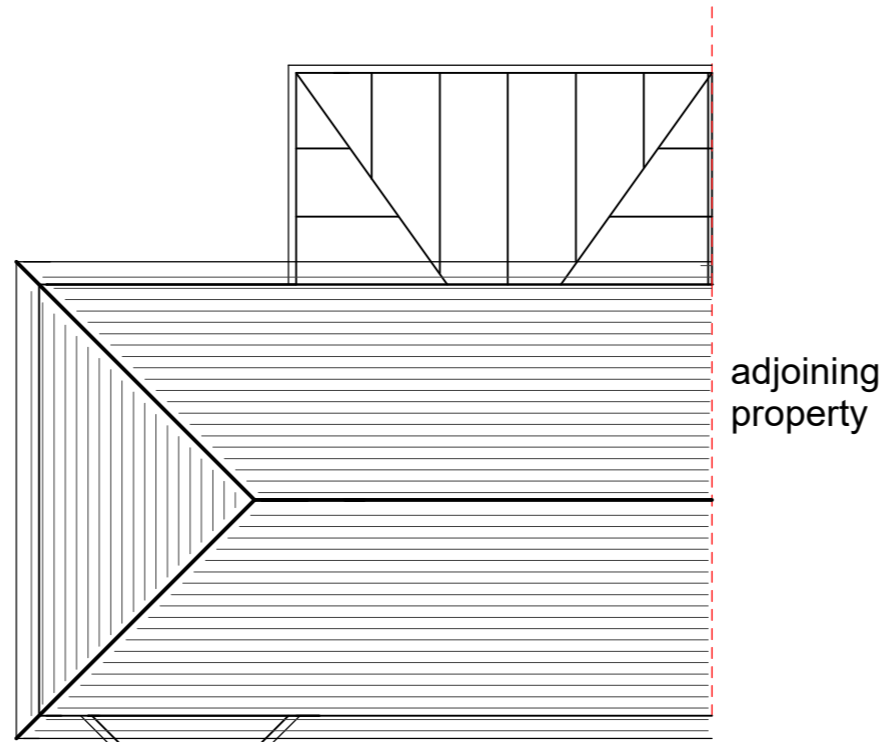
rear (northeast) elevation



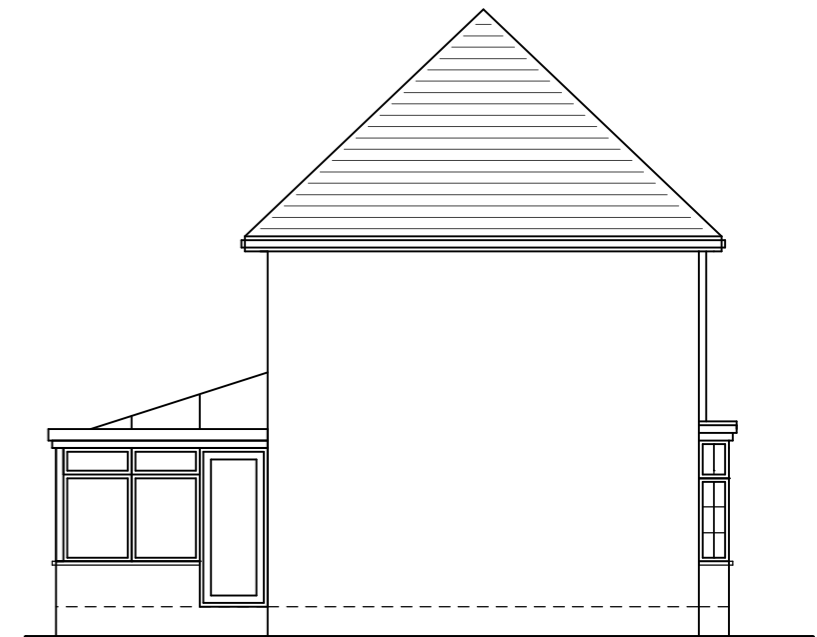
right (southeast) elevation



GROUND FLOOR LAYOUT



ROOF PLAN



left (northwest) elevation



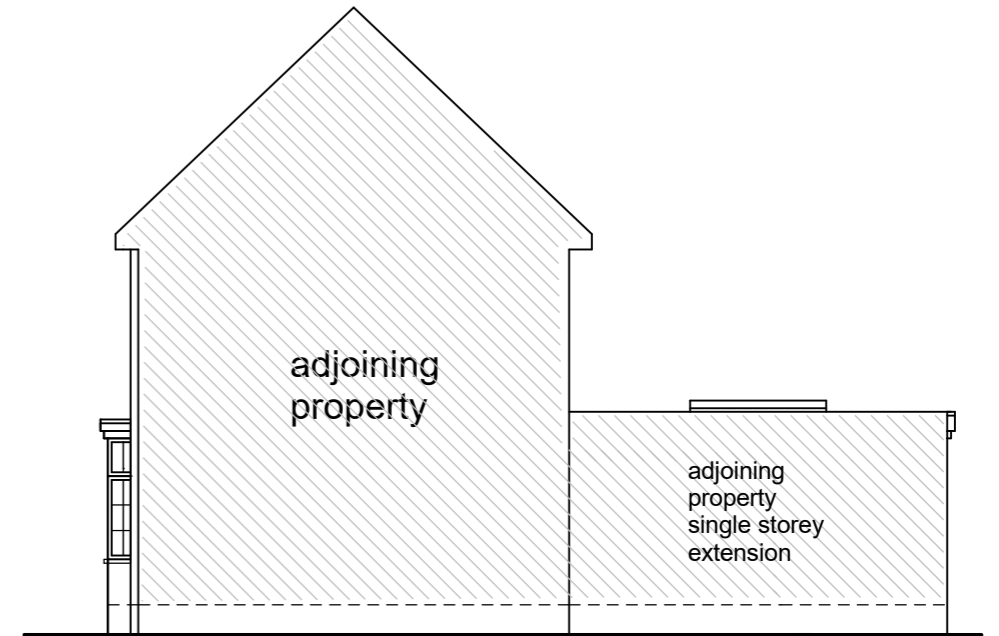
front (southwest) elevation



rear (northeast) elevation

bifolding doors

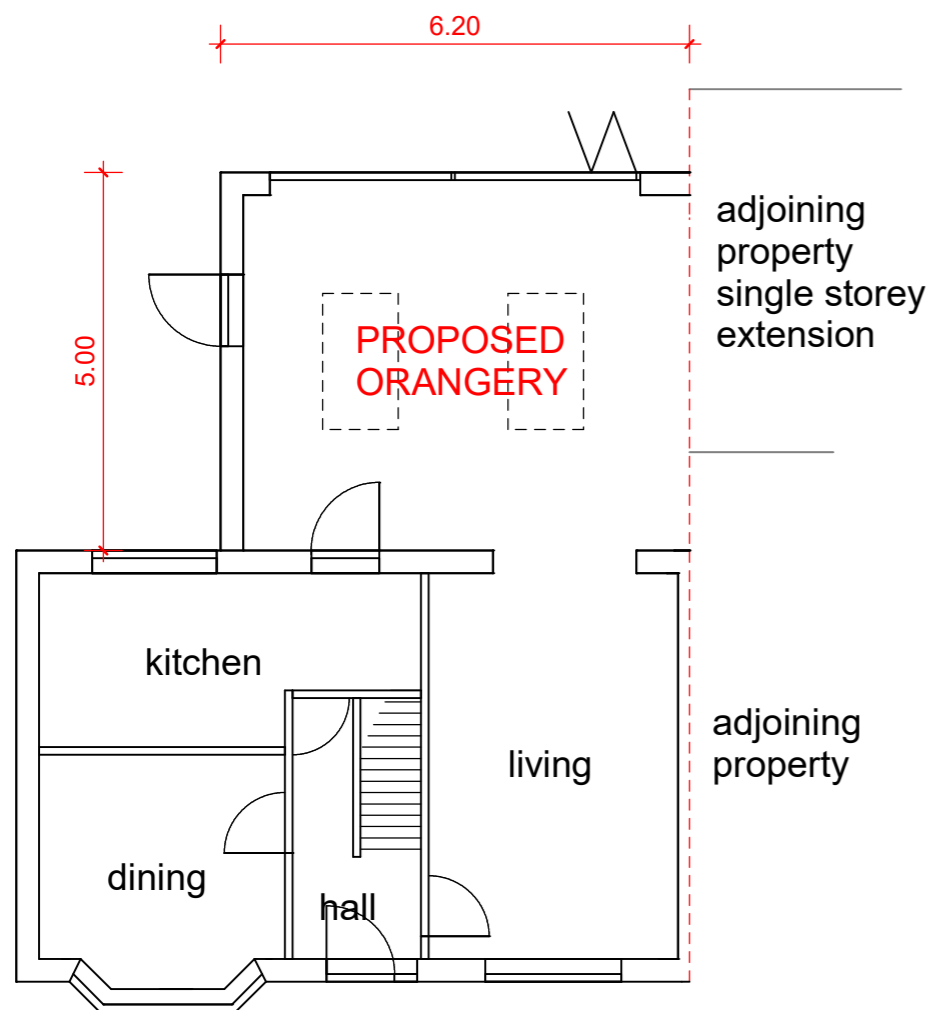
white upvc frames



right (southeast) elevation

adjoining property

adjoining property single storey extension



GROUND FLOOR LAYOUT

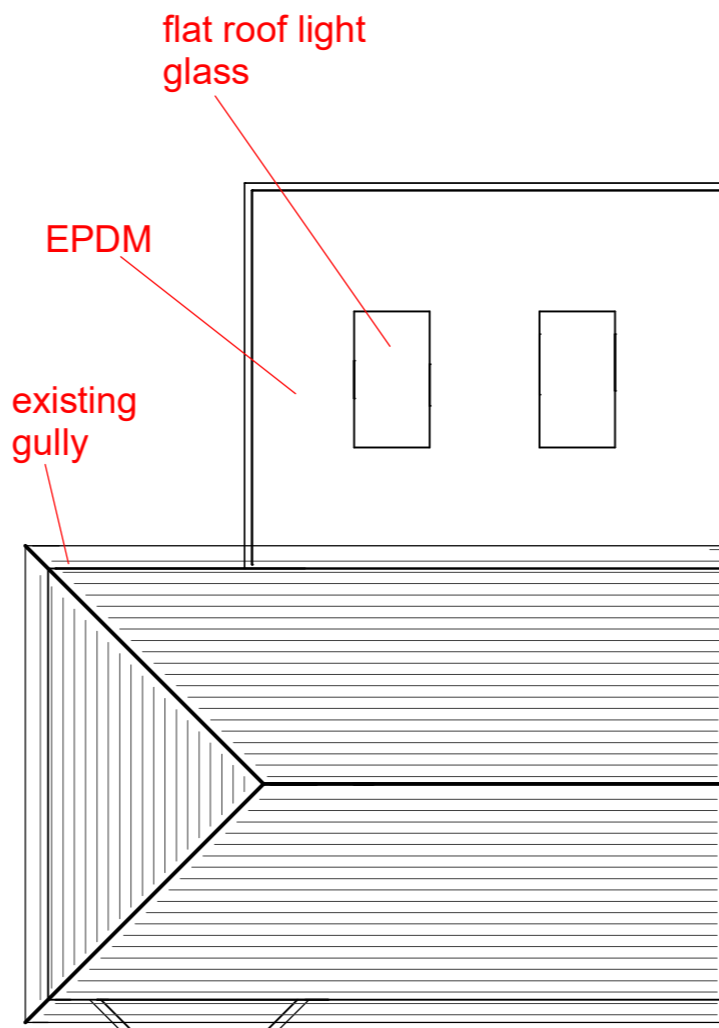
PROPOSED ORANGERY

adjoining property single storey extension

adjoining property

6.20

5.00



ROOF PLAN

flat roof light glass

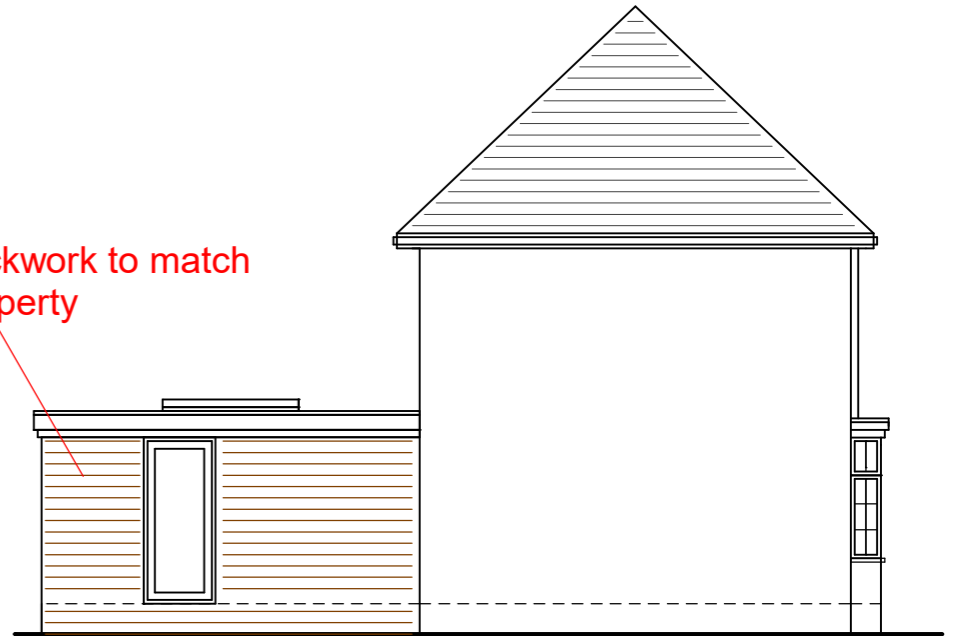
EPDM

existing gully

adjoining property

brickwork to match property

3.10
2.95



left (northwest) elevation

PROPOSED REAR ORANGERY
 (existing conservatory to be removed)
 width 6.2m, projection 5m, hgt to eaves 2.95m, hgt to ridge 3.1m
 brickwork to match property, frames white upvc, glazing clear,
 flat roof material EPDM, 2x flat roof lights - material glass

drainage to existing gully, boundary treatments to remain same,
 access via drive ie materials etc