

17 Pasture Road, Letchworth Garden City

784-B025516



Statement of Case

Appeal against refusal of Scheme of Management Consent

[Redacted]

28 February 2023

Document prepared on behalf of [Redacted]

Registered in England number: [Redacted]

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APPENDICES

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1.0 INTRODUCTION

- 1.1 This Statement of Case sets out our full reasons for supporting the appeal and has been prepared by _____ on behalf of _____ in support of its appeal to the Independent Inspector in respect of the refusal of Scheme of Management consent by the Letchworth Garden City Heritage Foundation (hereafter ‘LGCHF’) for a revised proposal for extensions to 17 Pasture Road, Letchworth Garden City, SG6 3LP. The refusal of Scheme of Management consent was confirmed in a letter from LGCHF dated 22.12.22.
- 1.2 The scheme as described by LGCHF comprises “*Two storey rear extension, two storey side extension and first floor extension above part of garage. Alterations to roofline and fenestration (revised scheme)*”.
- 1.3 A previous appeal for an earlier scheme was dismissed by letter dated 29.09.21 under reference RR/2021/010.
- 1.4 In summary the revised proposals to be considered at this appeal now comprise the following works to the property:
- The demolition of the existing sun lounge ground floor extension and erection of a two-storey rear extension that extends 7.041m from the original rear main wall of the existing property (but only 2.806m from the existing ground floor sun lounge) including new fenestration.
 - The demolition of the existing single storey side conservatory extension located to the rear of the garage and replacement with a two-storey extension with new fenestration.
 - The increase in height of the garage to the front of the property and insertion of new fenestration to the front elevation at ground and first floor level and replacement of dormer windows with windows in the flush, side elevation.
 - Alterations to the roof of the property (no increase in height) to create a gabled roof structure.
- 1.5 The proposed extensions will result in the following changes in dimensions to the property:
- Width increases marginally from the existing (including the ground floor side conservatory) from 14.65m to 15.02m.
 - Depth increases from the existing (including the ground floor rear sun lounge) from 19.34m to 22.14m.
 - There is no increase in height of the property.
 - There is no increase in width of the garage.
 - The height of the garage increases marginally from the existing 6.34m to 7.94m but this is still below the main roof ridge height.
- 1.6 This Statement of Case comprises the following subsequent sections:
- Section 2 provides a description of the site.
 - Section 3 provides a brief summary of the previous history in relation to this proposal.

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- Section 4 describes the proposed appeal scheme.
 - Section 5 sets out the case for the appeal on behalf of the appellant.
 - Section 6 provides a summary.

2.0 SITE DESCRIPTION

- 2.1 The subject property, 17 Pasture Road is a two-storey detached single family dwellinghouse located on the eastern side of Pasture Road.
- 2.2 Pasture Road is a self-contained development of properties located on the south side of the A505 Hitchin Road on the southern outskirts of Letchworth Garden City.
- 2.3 Pasture Road is a meandering road of a verdant nature. It has a variety of houses that are generally large, well-spaced and sited on fairly sizeable plots. Visually, whilst there is a degree of conformity between the properties on Pasture Road, a number have been extended and altered with a wide range of architectural approaches being used.
- 2.4 The property is located within the defined urban area of Letchworth Garden City, is not a listed building and Pasture Road does not form part of a Conservation Area.
- 2.5 The property lies within an area defined as a Modern Character Area in the Design Principles published by LGCHF.
- 2.6 The plot that the property sits on is large. The plot is 20.5m wide on the frontage (west), tapering to around 12m at the rear (east) boundary. The overall site area is 1,184sqm.
- 2.7 The existing property has a principal roof which is hipped. It is 12.51 metres wide and 8.87 metres deep with a conservatory extension at the side that is 2.15m wide (so 14.66m wide) and a sunroom at the rear that at its deepest is 2.815 metres (so a maximum of 11.68m). The property is 5.32 metres high to the eaves and 8.37 metres high to the ridge.
- 2.8 The double garage to the front extends 7.64m from the main front elevation and is 6.87m wide and 6.34m high. Accurate existing floor plans of the property have been submitted as part of the application.

3.0 SUMMARY OF PREVIOUS HISTORY

- 3.1 set out below a summary of the previous history in relation to this scheme.
- 3.2 The local planning authority, North Hertfordshire District Council, granted planning permission on 05.10.20 for development described as *“Demolition of first floor / dormer window above the garage, existing single storey (north) side projection and existing single storey rear extension and conservatory followed by replacement two storey rear extension, two storey (north) side extension, single storey (south) side extension and first floor extension above ground floor part of the garage plus two hip to gable roof extensions and alterations to the fenestration. (Amended plans received 21/09/20 and 05/10/20)”*.
- 3.3 An application for Scheme of Management Consent for this same development was subsequently submitted to the LGCHF on 06.10.20 and refused by LGCHF officers on 29.10.20.

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- 3.4 An appeal was made to the LGCHF Advisory Management Committee (AMC) on 11.01.21. The refusal was upheld by the AMC notice dated 22.04.21.
- 3.5 An appeal to the Independent Inspector was submitted to the Foundation on 04.05.21 and subsequently dismissed.

4.0 THE PROPOSED APPEAL SCHEME

- 4.1 The proposed appeal scheme was originally submitted to LGCHF in Autumn 2021 by the appellant and was subject to a number of revisions throughout its period of consideration by the LGCHF that sought to address the concerns raised by LGCHF to improve the scheme. The revisions included the following:

Revision issued 01.03.22

- Rear roof changed from a gable to a hipped roof and roof line lowered.
- The lowering of the ridge height of the garage extension so it is below the ridge height of the main part of the house.
- The changing of the five light window to a four light window on the first floor of the rear elevation
- Confirmation of proposed brick details
- Removal of the rendering on the north side elevation

Revision issued 08.04.22

- Revision to rear elevation including the provision of two symmetrically located gables and equally proportioned sliding door at ground floor level and narrower windows at first floor level between the gables.

Revision issued 23.06.22

- The removal of the single storey ground floor side extension
- The re-incorporation of render to the north elevation gable end.

- 4.2 To assist the Independent Inspector, we attach at **Appendix A**, a set of the drawings to be considered by the Independent Inspector at this appeal. These comprise the following:
- Drawing SS-01 PO1 – Existing floor plans and elevations for consideration at Independent Appeal (Scale 1:100)
 - Drawing SS-01 PO2 - Proposed elevations for consideration at Independent Appeal (Scale 1:100)
 - Drawing SS-01 PO3 – Proposed floor plans for consideration at Independent Appeal (Scale 1:100)
 - Drawing SS-01 PO4 – Site plans for consideration at Independent Appeal (Scale 1:1,250 & 1:200)
- 4.3 In short, the proposal as presented now for consideration at the appeal is for a scheme that is, in parts smaller, narrower and shorter than that which NHDC granted planning permission for in 2020 were this appeal to be granted and Scheme of Management Consent granted that a further application for planning permission would need to be made to North Hertfordshire District

Council. As a result of the various amendments that have been made to the proposed design, consider that it is highly likely that planning permission would be granted, given the previous grant of planning permission for a more impactful proposal.

5.0 CASE IN SUPPORT OF APPEAL

5.1 The appellant appreciates that the consideration of whether Scheme of Management Consent should be granted follows from an assessment of the proposal against the Design Principles of Modern Character Areas produced by the Heritage Foundation. The latest version of these were published by the Heritage Foundation in November 2020.

5.2 The following summarises the relevant parts of the Design Principles and ■■■ comments on the extent that proposal complies with these.

Rear Extensions

- 5.3
1. The general guidance is that space between buildings is important and should be maintained. **Design response:** the space between the adjoining buildings is for the most part maintained as there is only a marginal increase in width of the property as set out in paragraph 1.4 above and shown on drawing 04.
 2. Rear extensions should complement the character of the original house and have balanced proportions and scale. **Design response:** the proposed rear extension is now almost symmetrical with two equally proportioned rear facing gables separated by pair of three pane windows. The fenestration within the gabled elements is also symmetrical with the first-floor sets of four window panes being aligned with the patio doors sitting below them at ground floor level
 3. Roof pitches should be consistent with the original design of the house. **Design response:** There are a wide variety of differing property designs located within the Pasture Road area and therefore ■■■ consider that the design of the resulting property will not be out of character with the surrounding context. For this reason, do not consider it should be a requirement to ensure that roof pitches and designs need to be consistent with the original design of the house.
 4. The area and volume shall be in proportion to the existing house and plot. Design shall respond to and harmonise with the qualities of the host building and its setting. **Design response:** The existing plot is large enough to accommodate the proposed extension without detriment to the setting. There will be no bringing forward of the existing building line, a significant rear garden area will be retained once works are complete, there will be a minimal increase in width and no increase in height of the property. The rear elevation as proposed now is considered to represent a considerable improvement over the rear elevation that was previously granted planning permission by North Hertfordshire District Council as can be seen from the comparison of the two designs shown below.



Proposed East Elevation

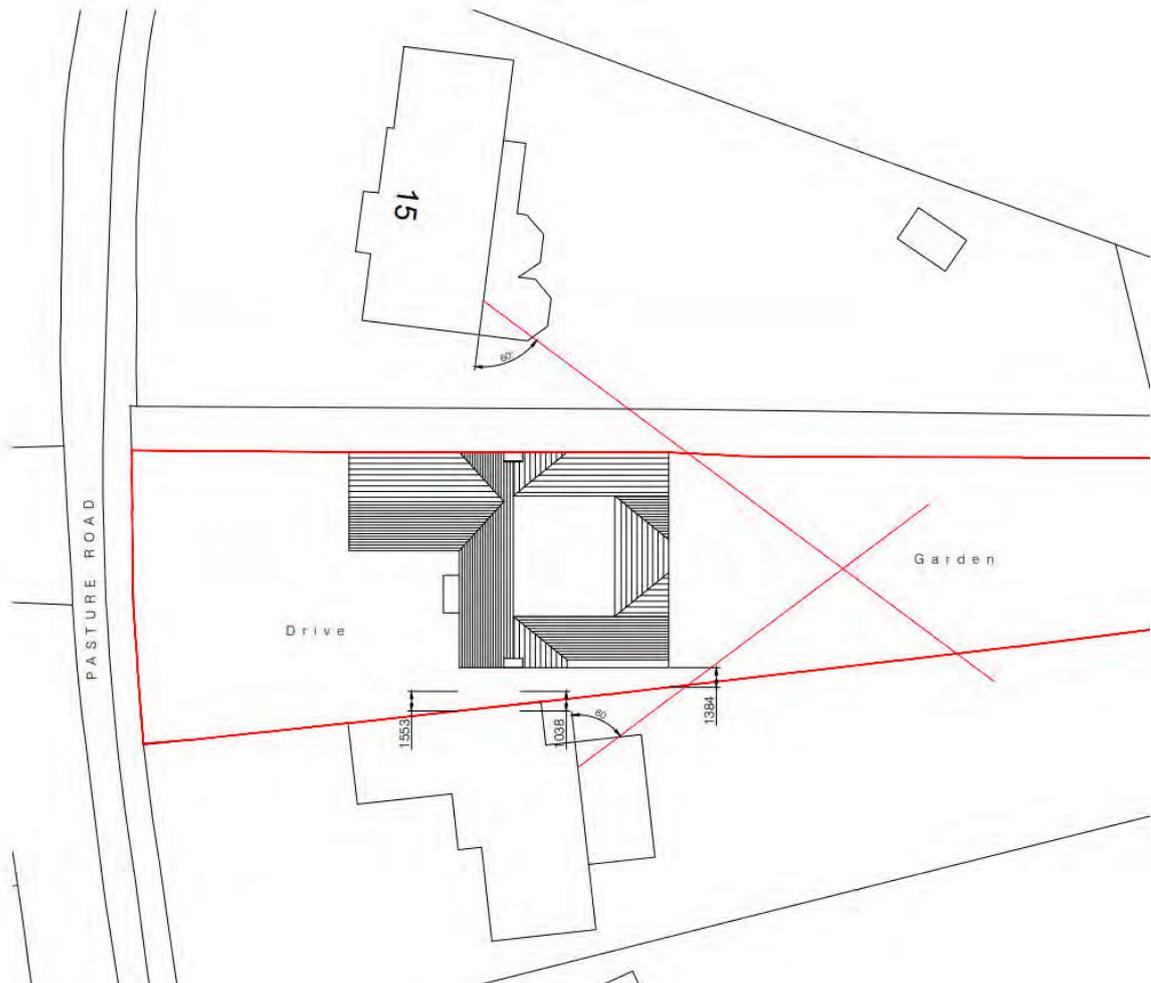


Rear Elevation - scale 1:100

Above: Approved Rear Elevation granted by NHDC

Above: Proposed Rear Elevation for Appeal

5. Adequate rear garden shall be retained and extensions shall not lead to unacceptable loss of amenity to neighbouring occupiers. **Design response:** the garden is of a significant depth and as proposed to be extended would still be at least 35m in length. Furthermore, this is demonstrated in view by the marking on drawing PO4 of the 60-degree light angles which illustrate the proposed rear extension does not cut through these lines drawn from the relevant windows on adjoining properties as shown in the extract below.



Above - extract from Drawing PO4 showing light angles

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6. Specific guidance is provided in relation to detached dwellings which states that ground floor and two storey extensions up to a depth of 5 metres from the original main building line may be acceptable. Extensions to houses on very large plots may exceed 5 metres if it can be demonstrated that there is negligible effect on neighbouring property and not detrimental to its character or setting. **Design response:** for the reasons set out under 5 above, consider that it has been demonstrated that an extension of greater than 5 metres can be deemed to be acceptable on this large plot.

Side Extensions

- 5.4
1. Side extensions shall be consistent with the character of the original house, utilising the detailing and matching materials, respecting the proportions and scale of the existing property. **Design response:** The proposed side extension along the northern boundary replaces an existing ground floor conservatory extension that extends very nearly to the property boundary. The proposed side extension will line up with the existing northern elevation of the existing double garage that lies on the property's northern boundary. Given the footpath to the immediate north of the property boundary, there is sufficient separation distance from the adjoining property. The proposed materials will match the brick in the existing property with the exception of the proposed north external gable end wall that is proposed to be in painted render.
 2. Roof pitches can have a substantial impact on the appearance of a building and the street scene; therefore all proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house, unless it can be demonstrated that the extension does not damage the character and quality of the existing property and its context. **Design response:** There are a wide variety of differing property designs located within the Pasture Road area and therefore consider that the design of the resulting property will not be out of character with the surrounding context. For this reason, do not consider it should be a requirement to ensure that roof pitches and designs need to be consistent with the original design of the house.
 3. The guidance for all dwellings comprises the area and volume of the proposed extension shall be subservient to and in proportion with the existing house and plot. **Design response:** The existing property is currently large and sits on a large plot and consider that the plot is large enough to allow the side extension as proposed to be constructed without detriment to the adjoining property to the north.
 4. Ground floor extensions shall retain a 1 metre gap to the boundary. **Design response:** As is demonstrated on drawing PO4, a separation distance of 1.384m is provided on the southern boundary, greater therefore than the 1 metre gap specified to be retained.
 5. To maintain the open feel and space around detached and semi-detached dwellings, the side walls of proposed 2 storey and first floor side extensions shall be a minimum of 2 metres from a boundary. **Design response:** On the northern boundary, the existing building is hard up against the property boundary but there is a footpath link located between the northern boundary of the existing property and the adjoining property to the north so there is sufficient distance that will be retained on the northern side of the property.

Front extensions

- 5.5 1. Front extensions are discouraged. It is preferable for extensions to be on the rear of the property as these normally have a reduced impact on the character of the property and its context; therefore, rear additions shall be explored in the first instance. Proposals for front additions will not be supported unless it can be demonstrated that they will not cause harm to the appearance of the existing property or its group. **Design response:** As regards to the upwards extension to the garage, this structure of course already exists and has habitable accommodation at first floor level. Amendments have been made to the proposal since the planning permission for the earlier scheme was granted and the ridge of the extension is now proposed to sit below the height of the ridge of the main part of the house. Again, consider that front elevation now proposed is a considerable improvement over the scheme that was previously granted planning permission by North Hertfordshire District Council.



Above: Approved Front Elevation granted by NHDC **Above: Proposed Front Elevation for Appeal**

2. In the rare circumstance that this type of extension is permitted, the following principles will apply: Front extensions shall be consistent with the character of the original house, utilising the detailing and matching materials, and have balanced proportions and scale **Design response:** The extension proposed is to the existing garage structure that will retain its width and depth with just the height being raised but still below the ridge height of the main roof structure. The extension will be completed in matching materials.
3. Roof pitches can have a substantial impact on the appearance of a building and the street scene; therefore, all proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house. **Design response:** The increase in height of the garage is to provide full headroom at first floor level above the garage which, because the width is not changing necessitates a different pitch. This is still considered to be appropriate in the streetscene due to the wide variety of styles of properties in the Pasture Road area.
4. The Design Principles states that design shall respond to and harmonise with the individual qualities of the host building and its setting. Therefore, in all cases high quality design will be encouraged, while poor design will be rejected, and alternative solutions will need to be submitted. For all dwellings, the area and volume of the proposed extension shall be subservient and in proportion with the host building, plot and street scene. **Design response:** The front

extension is to the existing garage block and will not involve any increase on width or depth to this structure, just to the height albeit the ridge line will be set below the ridge height of the main roof.

5. The design of front extensions shall relate well with the original and neighbouring houses and their setting. Front extensions will not normally be acceptable if the existing frontage is less than 5 metres deep. **Design response:** refer to the design response in 4 above. The proposed front extension is set back some 15 metres into the plot.

Windows – new and replacement

5.6 We address the guidelines below. 1

1. Replacement windows shall match the style and design of the original windows in the property. **Design response:** Given the wide variety of styles of properties in the Pasture Road area, it is not considered necessary to replicate the current style and design of windows on the property. There are other properties in the area that have similar designed windows that have been permitted.
2. A mix of materials in a single elevation will not be supported. **Design response:** There are no mix of materials, all proposed windows will be of the same materials as set out in point 3 below.
3. Materials matching the original window (e.g. timber) are preferred, but a range of materials are acceptable. **Design response:** As a range of materials are deemed acceptable, the proposed high-quality double glazed PPC aluminium windows with leaded lights and dressed stone surrounds should be considered appropriate given similar windows are present elsewhere in Pasture Road.
4. External glazing bars or external leading are preferred where this was an original feature of the property. **Design response:** The proposed windows will have leaded lights.
5. The colour of all window frames and casements shall match the originals or, if the original colour cannot be identified, they shall relate to the original character of the property and the predominant colour of the street **Design response:** It is not considered appropriate for the proposed replacement windows confirmed under point 3 above to replicate the existing white windows.
6. New window openings are only acceptable on the front elevation where it is demonstrated that this will not have a damaging impact on the existing property or its context. **Design response:** Whilst new windows are proposed on the front elevation in the gable end of the garage extension with replacement windows on the main front elevation, these are considered appropriate in the context of the overall proposed scheme.
7. Positioning, type and size of new openings shall be consistent with the original design of the property and style of the original windows. **Design response:** With the exception of the new windows in the front facing gable end of the garage, the positioning of the fenestration matches the existing. On the rear elevation, the proposed fenestration is proposed to suit the appearance of the rear elevation which is not viewed from wider public viewpoints in any event.

Roofs, new roofs, alterations, re-tiling and repairs

5.7 The roofs of Modern Character Area houses use a range of traditional and modern designs and materials. Changes to the style and height of a roof will not normally be acceptable. Roof alterations shall reflect the original roof design and specifications. Materials shall normally relate to the original style of the existing house. **Design response:** There are a wide variety of property types in the Pasture Road area. Whilst the proposal is to provide a gable to the main roof in lieu of the existing hips, the height of the roof will not be increased, and the roof will have matching concrete tiles as per the existing property.

Response to LGCHF's criticisms

5.8 now turn to respond directly to the concerns of the LGCHF. These were last communicated to in the response dated 01 August 2022 a copy of which appears at **Appendix B**.

5.9 The letter firstly sets out the key design guidelines from the Modern Character Area Design Guidelines and the following criticisms are levelled at the revised design include our comments in turn to each matter listed:

Rear Extension

5.10 **The proposed rear extension is bulky with a large flat crown roof.** In judgement the proposed rear extension is not overly bulky. Whilst admittedly it is a large extension, the property sits on a large plot and there is sufficient separation distance from neighbouring properties. The fact there is a large crown roof is not considered to be particularly relevant given this will not be seen from any frequently viewed public vantage points.

5.11 **The rear elevation is unbalanced in its design.** In view, the only 'unbalancing item' is the very narrow single storey element on the left hand side of the rear elevation drawing. Overall, consider that the rear elevation is balanced and this objection is unfounded.

5.12 **The roofline has been altered from a hipped roof to a gable roof which does not respect the host building.** The site does not lie within a Conservation Area. Pasture Road contains a considerable variety of different styles of properties with different roof forms including gables, half-hips and hipped. Accordingly, fail to see why the applicant cannot be permitted to change the existing hipped roof to gable roof form.

5.13 **The proposed extension is also 7 metres from the rear of the host building, and this will impact on the surrounding neighbours.** refer back to point 5 in paragraph 5.3 above.

Furthermore, in our submission to LGCHF dated 08 April 2022, referred previously to other areas in Letchworth to make the point that in our view, Pasture Road should be classed as having 'very large plots' and therefore, a rear extension of such depth need not be considered unacceptable. Moreover, at no point have LGCHF officers commented on the fact that the scheme complies with the 60-degree rule that mentioned in our letters of both 01 March 2022 and 08 April 2022 and referred to at point 5 of paragraph 5.3 above.

Side Extension

5.14 **Infilling the space and raising the roof level and replacing the existing side conservatory results in a large and bulky elevation. This is exacerbated by raising the height of the existing**

garage to the front. There is no relief or breaks to the north side elevation which will impact on the adjacent neighbour. Whilst reference is made to the raising of the height of the existing garage, would point out that the height of this still sits below the ridge line of the main house. Furthermore, in the latest set of revisions shown on drawing PO2 a contrast in material is proposed (white or magnolia render) to the central gable section to the matching brick for both the garage block and the rear section to help provide relief to the northern elevation.

5.15 As will have been noted from site visits, there is a substantial leylandii hedge separating 17 Pasture Road from the neighbouring property to the north and therefore this provides an effective screen between the two properties.

5.16 **The plot tapers and the proposed single storey side extension to the south elevation will results in the building being cramped onto the site as well as impacting the neighbour. These houses are substantial and require space around them.** The proposed drawings no longer propose the single storey extension to the south side of the property and so this objection has been overcome.

Front Extension

5.17 **The alterations to the front garage block as mentioned above exaggerates the excess of the proposals with a bulky first floor extension.** The first-floor extension above the garage is proposed such that its ridge height sits below the ridge line of the main element of the existing property and in view is appropriate in the street scene, particularly bearing in mind the other properties in Pasture Road that have been similarly extended.

Windows

5.18 **The proposed windows are not in keeping with the design of the host building.** refer to the comments made in para 5.6 above.

6.0 SUMMARY

6.1 In judgement, the decision of the LGCHF to refuse Scheme of Management Consent for the revised proposed alterations to no 17 Pasture Road is again unjustified.

6.2 The fact of the matter is the proposals are for alterations and extensions to an existing property on a large plot and are not inappropriate.

6.3 The proposals are not significantly different to anything else in the immediate surrounding area which have been approved.

6.4 The Pasture Road area has a wide variety of dwellings with no cohesive style other than large properties on large plots.

6.5 Moreover, planning permission has been granted for a more impactful iteration of this proposal where NHDC's consideration was partly based on its assessment against the LGCHF's guidance.

6.6 There is therefore no justification for refusing as the proposals consider will maintain the character of the area and therefore request that the appeal is allowed.

Appendix A – Full Drawing Set PO1 to PO4





Front Elevation - scale 1:100



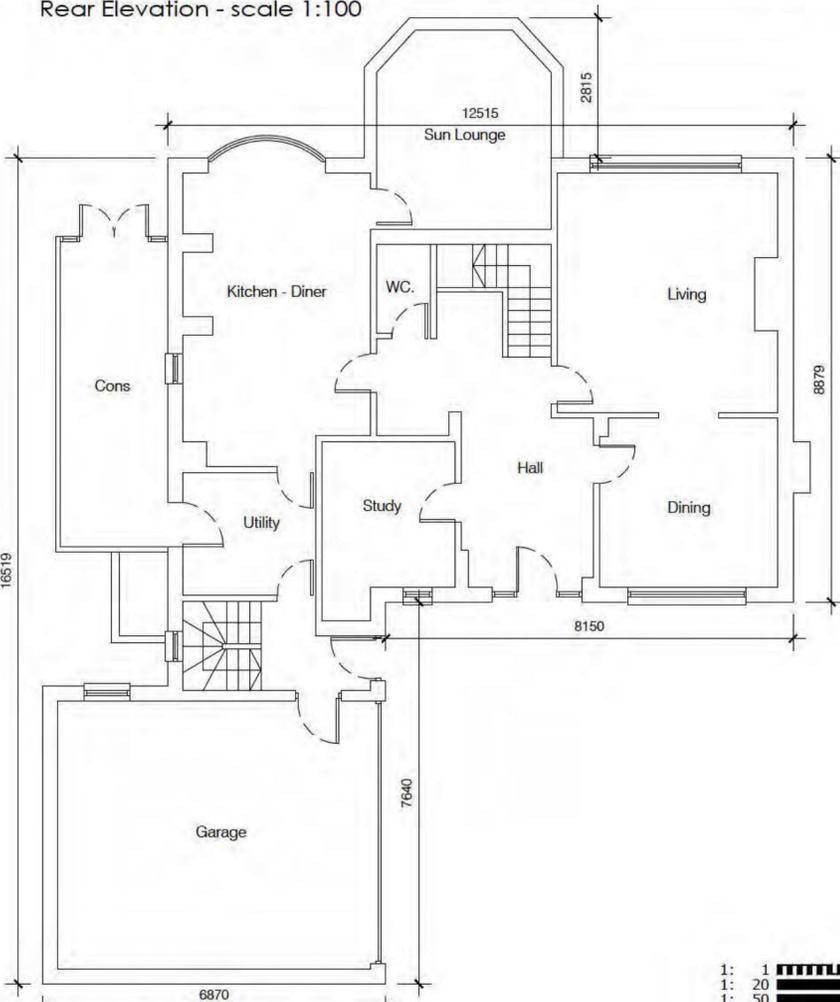
Side Elevation - scale 1:100



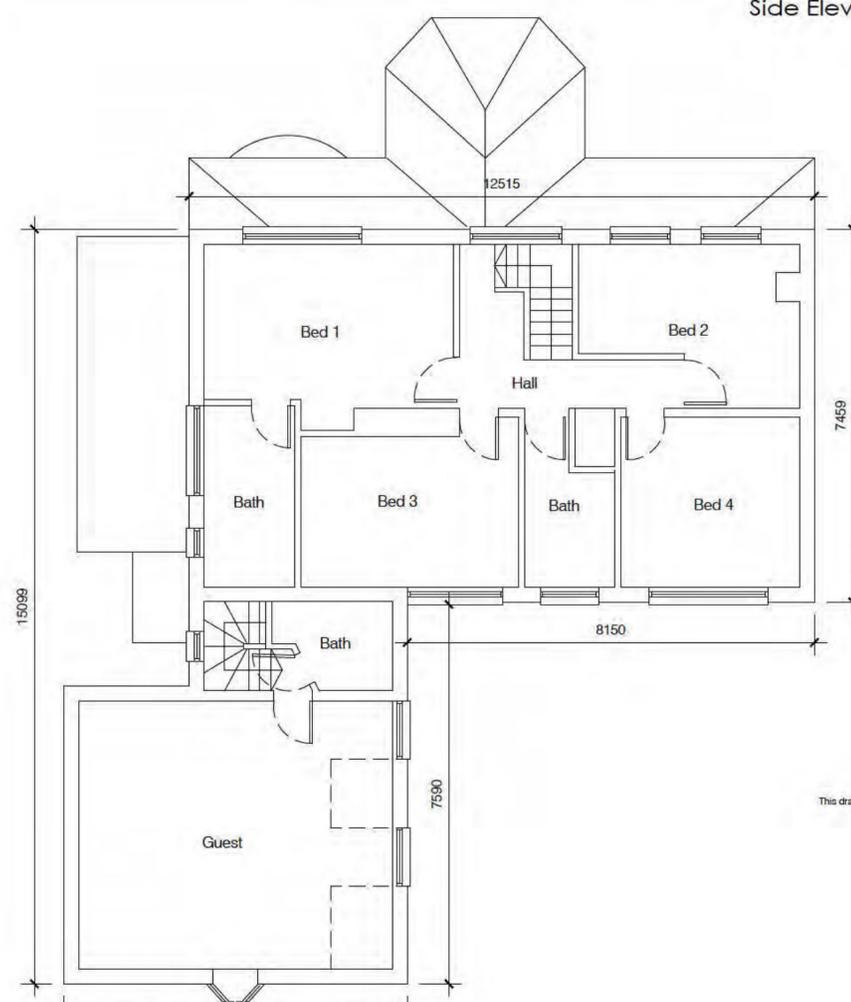
Rear Elevation - scale 1:100



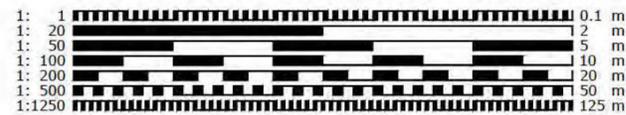
Side Elevation - scale 1:100



Ground Floor Plan - scale 1:100



First Floor Plan - scale 1:100



Notes

Setting Out Dimensions;
All dimensions and levels shown on drawings to be checked prior to commencement of work, any discrepancies to be reported to the Architect.

This drawing has been prepared from information provided by third party

Structural to all statutory approvals



FOR APPROVAL

CONTRACT Proposed Works to
17 Pasture Road,
Letchworth Garden City, Hertfordshire
DRAWING TITLE Existing Floor Plans and Elevations
for consideration at Independent Appeal
SCALE 1:100@A2 DRAWING NUMBER REVISION
DATE June 2022 PO1 PO1
DRAWN JE
JOB NUMBER SS-01 CHECKED BY

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Front Elevation - scale 1:100

- New roof constructed from matching concrete tiles, white fascias, verges and soffits
- Grey PPC aluminium rainwater goods, soffits and fascias installed to house
- New double glazed PPC aluminium window & door units with leaded lights installed with dressing stone surround features
- External walls to be constructed from matching brick with stone window surrounds. Brickwork replaced with stone around windows

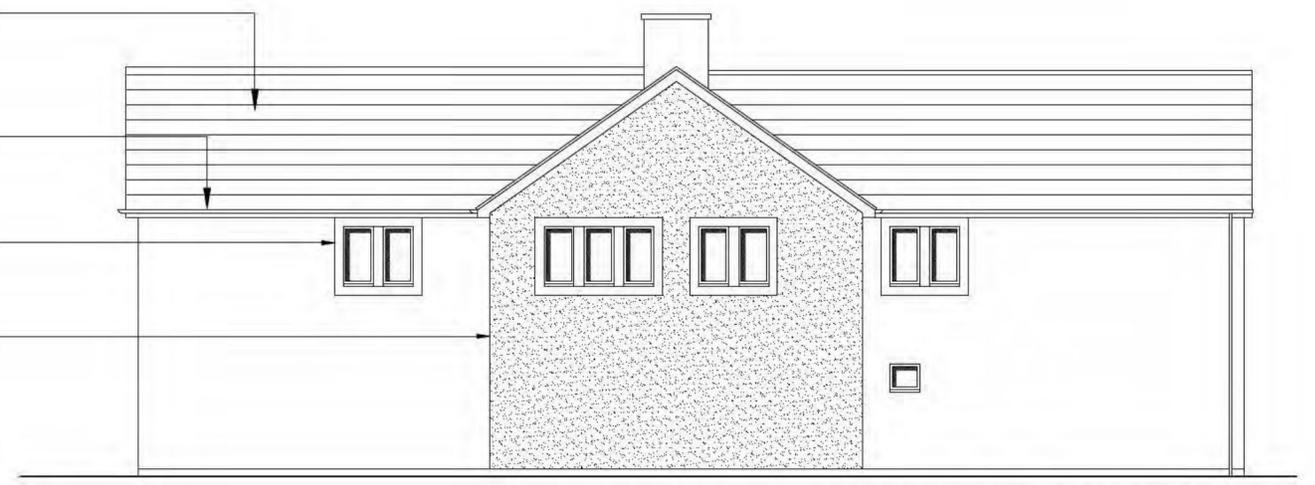


Side Elevation - scale 1:100



Rear Elevation - scale 1:100

- New roof constructed from matching concrete tiles, white fascias, verges and soffits
- Grey PPC aluminium rainwater goods, soffits and fascias installed to house
- New double glazed PPC aluminium window & door units with leaded lights installed with dressing stone surround features
- External gable end wall to be finished with white or magnolia render
- PPC aluminium folding - stacking doors to be installed to rear extension of house



Side Elevation - scale 1:100

Notes

Setting Out Dimensions;
All dimensions and levels shown on drawings to be checked prior to commencement of work, any discrepancies to be reported to the Architect.

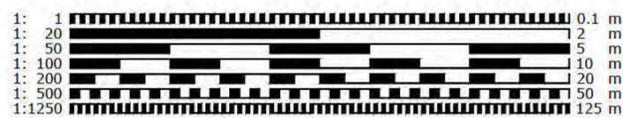
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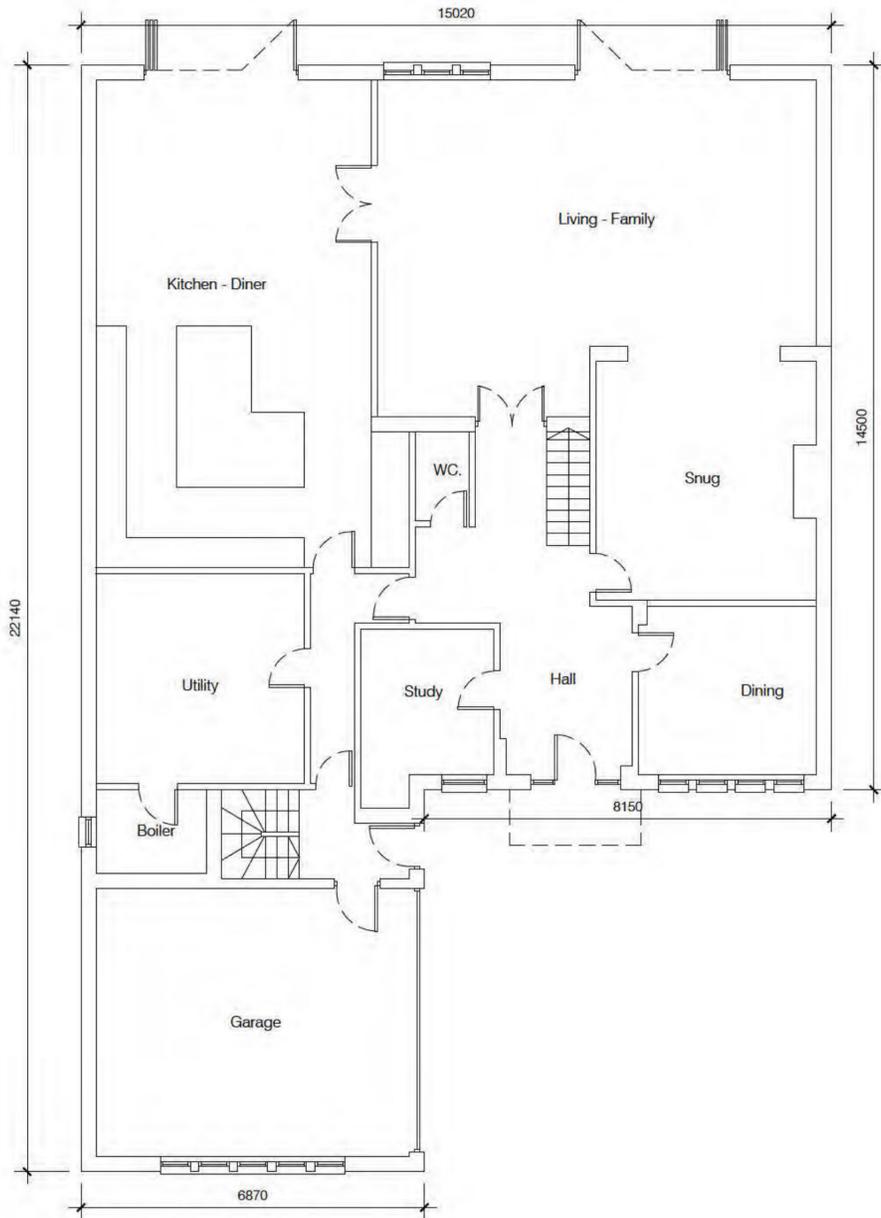


FOR APPROVAL

CONTRACT
Proposed Works to
17 Pasture Road,
Letchworth Garden City, Hertfordshire
DRAWING TITLE
Proposed Elevations for consideration
at Independent Appeal
SCALE 1:100@A2 DRAWING NUMBER REVISION
DATE June 2022 PO2
DRAWN JEI
JOB NUMBER SS-01 CHECKED BY

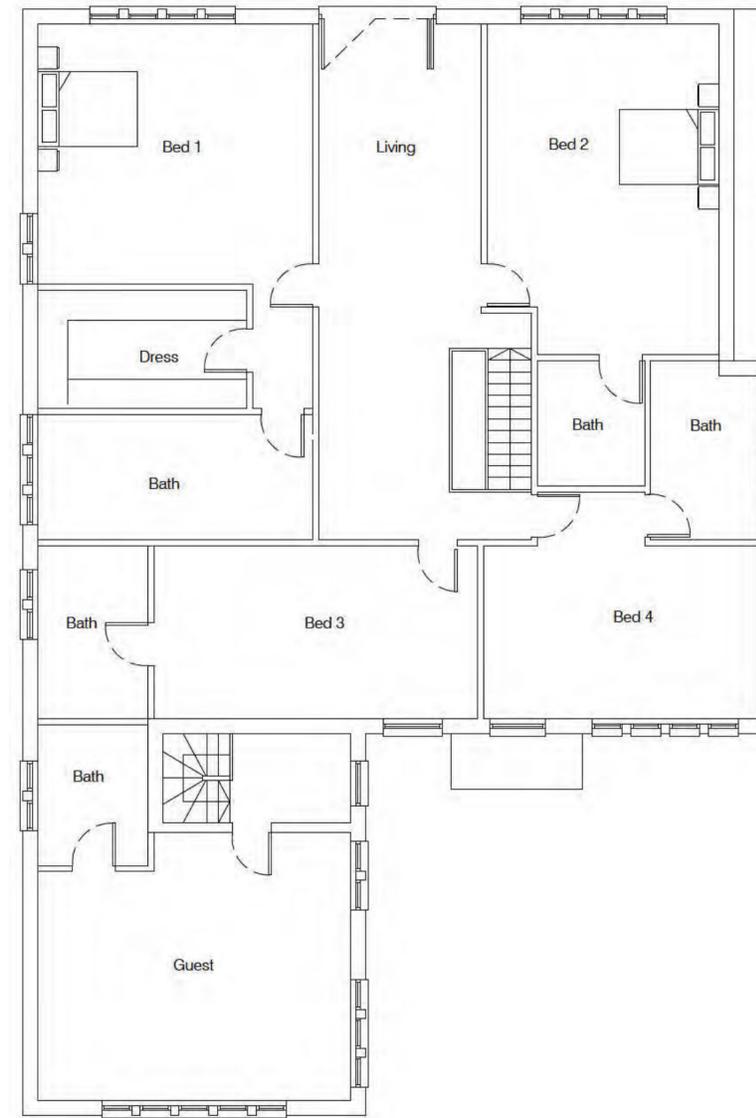


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Ground Floor Plan - scale 1:100

All North and South facing windows to be obscured



First Floor Plan - scale 1:100

Notes

Setting Out Dimensions:
All dimensions and levels shown on drawings to be checked prior to commencement of work, any discrepancies to be reported to the Architect.

This drawing has been prepared from information provided by third party

Structural to all statutory approvals

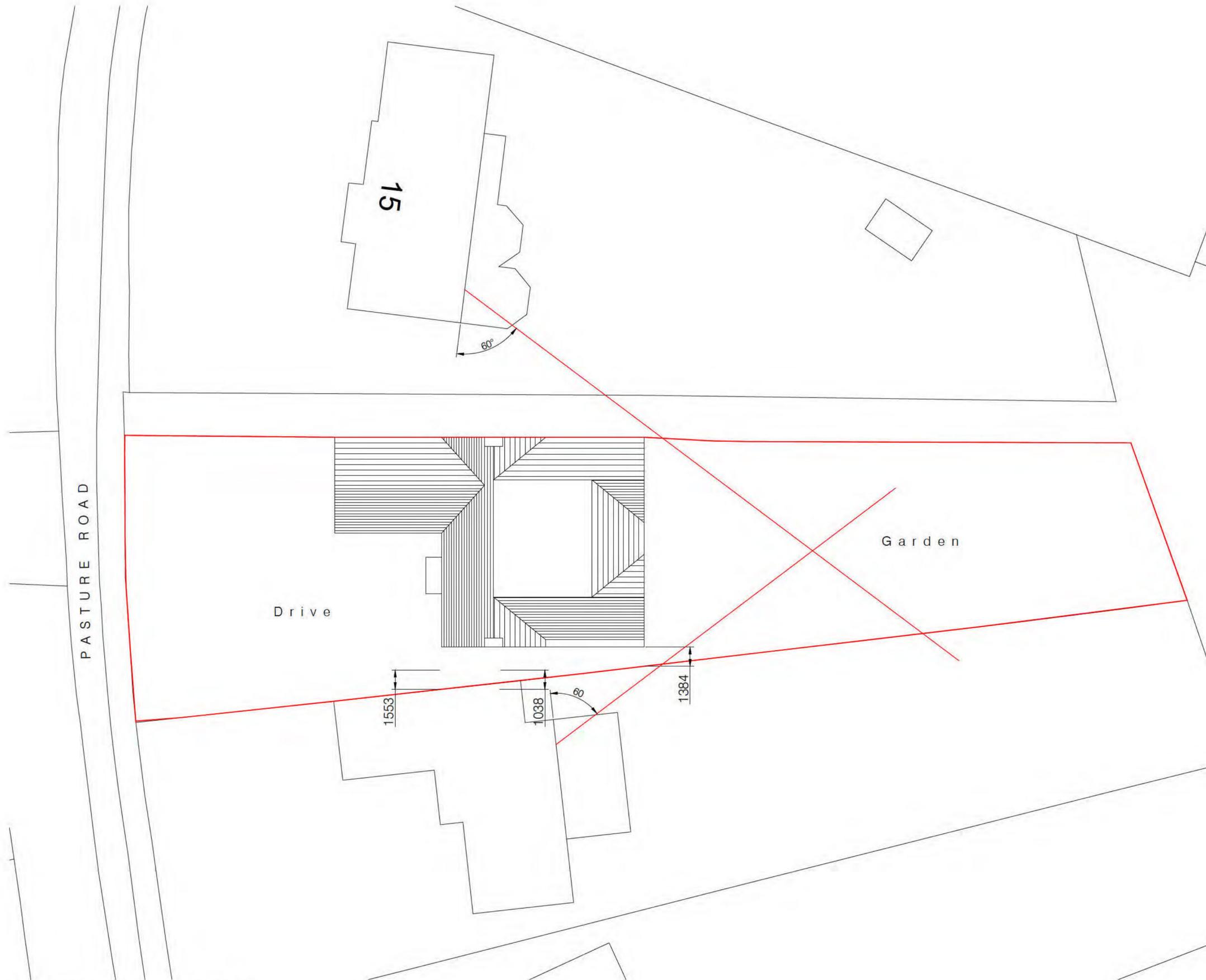


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CONTRACT
Proposed Works to
17 Pasture Road,
Letchworth Garden City, Hertfordshire
DRAWING TITLE
Proposed Floor Plans for consideration
at Independent Appeal
SCALE 1:100@A2 DRAWING NUMBER REVISION
DATE June 2022 PO3
DRAWN JE
JOB NUMBER SS-01 CHECKED BY

1: 1	0.1 m
1: 20	2 m
1: 50	5 m
1: 100	10 m
1: 200	20 m
1: 500	50 m
1:1250	125 m



Site, Block & Roof Plan - scale 1:200



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Site Location Plan - scale 1:1250



Notes

Setting Out Dimensions;
All dimensions and levels shown on drawings to be checked prior to commencement of work, any discrepancies to be reported to the Architect.

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Structural to all statutory approvals

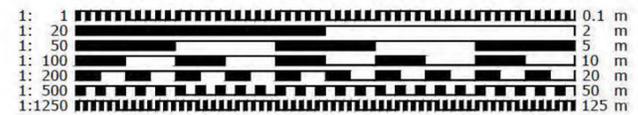


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CONTRACT
Proposed Works to
17 Pasture Road,
Letchworth Garden City, Hertfordshire

DRAWING TITLE
Site Plans for consideration at
SCALE varies@A2 DRAWING NUMBER
DATE June 2022 PO4
DRAWN JE
JOB NUMBER SS-01



Appendix B – LGCHF letter dated 01.08.22

Our Ref: 38246

Date: 1st August 2022

██████████
17 Pasture Road
Letchworth Garden City
Hertfordshire
SG6 3LP

Dear

**Two Storey Rear Extension, Two Storey Side Extension And First Floor Extension Above Part Of Garage And Single Storey Side Extension. Alterations To Roofline And Fenestration (revised scheme),
17 Pasture Road, Letchworth Garden City**

The application for the above proposal was considered by the Householder Applications Committee at its meeting on 15th July 2022. At this meeting the Committee took into account all of the issues raised and after careful consideration the decision was to refuse consent for the proposal, as it contravened the Modern Character Area Design Principles, for the following reasons

Rear extension

- *Rear extensions shall complement the character of the original house, using the detailing and complementing materials, and have balanced proportions and scale*
- *Roof pitches can have a substantial impact on the character of the original house, therefore proposed roof pitches shall be consistent with the original roof design of the house*
- *The area and volume of the proposed extension shall be in proportion to the existing house and plot*
- *Design shall respond to and harmonise with the individual qualities of the host building and its setting. Therefore, in all cases high quality design will be encouraged, while poor design will be rejected, and alternative solutions sought*
- *Ground floor and 2 storey extensions up to a depth of 5 metres from the original main rear building line of the house may be acceptable. When 2 storey extensions would have an impact on neighbouring properties, a reduction in depth and/or width may be required*

The proposed rear extension is bulky with a large flat crown roof. The rear elevation is unbalanced in its design and the roofline has been altered from a hipped roof to a gable roof which does not respect the host building.

The proposed extension is also 7 metres from the rear of the host building, and this will impact on the surrounding neighbours

Side extension

- *The width of side extensions can greatly impact on the original character of the home and the street scene – particularly the vistas between these home*
- *Side extensions shall be consistent with the character of the original house, utilising the detailing and matching materials, respecting the proportions and scale of the existing property*

Infilling the space and raising the roof level and replacing the existing side conservatory results in a large and bulky elevation. This is exacerbated by raising the height of the existing garage to the front. There is no relief or breaks to the north side elevation which will impact on the adjacent neighbour

The plot tapers and the proposed single storey side extension to the south elevation will result in the building being cramped onto the site as well as impacting the neighbour. These houses are substantial and require space around them.

Front extension

- *Creating an unsightly or unduly prominent form of development*

The alterations to the front garage block as mentioned above exaggerates the excess of the proposals with a bulky first floor extension

Windows

- *Replacement windows shall match the style and design of the original windows in the property*

The proposed windows are not in keeping with the design of the host building.

■ know this decision is disappointing, therefore, ■ would be more than happy to discuss alternatives, to achieve a proposal acceptable to both parties.

Should ■ not agree with this decision, ■ may request that ■ application is reviewed by the Advisory Management Committee, who will report their findings to the Trustees. Should ■ wish to proceed with this, please ensure that ■ receive ■ written confirmation within 6 months of the date of this letter. ■ may also wish to provide a written statement in support of the review.

Please refer to ■ website for further information:

letchworth.com/your-home/application-process

Should ■ have any further queries, would like to discuss the decision, or amend ■ proposal please contact ■ on the number below.

■ sincerely

Heritage Advice Service Manager

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