

Statement of Case Response

34 Pasture Road, Letchworth Garden City



Job No. 3195
Date. August 2023
Revision. B

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1.0 Responses to the HF Statement of Case

1. This document seeks to respond to the Heritage Foundation Statement of Case which represents a refusal of this scheme.
2. The points within the statement should seek to outline the Heritage Foundation's reasons for refusal which have been upheld at each stage
3. To make the responses easier to digest in relation to the Heritage Foundations Case, this statement provides the Statement to the right of this document, where applicable, and the Appellants comments within this space.
4. Please see the original reasons for refusal which do not make any mention to any reason pertaining to the "rear extension". In fact, it is clearly noted with the Heritage Foundations own Statement of Case (item 5.8) that "there are no overriding concerns with regards to the proposed single storey addition to the rear"

It is therefore believed that this element is not contentious or included within the reasons for refusal.

Indeed, as such, we can presume that the rear extension therefore *"harmonises with the individual qualities of the host building and its setting."* as per the Design Principles own wording.

Ground floor front extension, including new dormer over & ground floor rear extension, alterations to front entrance including new porch, door & windows & removal of gable feature & cladding at first floor.	Withdrawn October 2015
Front, side & rear extensions, new garage, loft conversion & elevational alterations.	Approve June 2014

2.3 Planning Permission ref – 22/02791/FPH was approved on 27th February 2023

2.4 Location plan and Photographs are available in **Appendix A**.

3. Application

- 3.1 An application for various works was submitted, Replacement roof, front two and rear single storey extension including external cladding and replacement windows on 28th October 2023.
- 3.2 The application was reused by the Heritage Advice Service on 31st January 2023.
- 3.3 The homeowner sought a review by the AMC in May 2023. The AMC unanimously upheld the decision of HAS and it was refused at the Householders Application Committee in June 2023.

4. Scheme of Management and the Design Principles

- 4.1 The Scheme of Management under the Leasehold Reform Act 1967 in the covenants section at point 6 states:

Restriction on further development

6. Any owner shall not carry out any development redevelopment or alteration materially affecting external appearance of the enfranchised property or of any building or structure thereon save with the written consent of the Corporation (which shall not be unreasonably withheld) and in accordance with plans drawings and specifications previously submitted to and approved by the Corporation. Any such development redevelopment or alteration shall be made in accordance with the approved plans drawings and specifications and shall be carried out in a good substantial and workmanlike manner with sound and proper materials.

- 4.2 The Design Principles for the Modern Character Area state -

4.3 Pg 7 – Rear Extensions

Rear extensions shall compliment the character of the original house, using the detailing and complementing materials, and have balanced proportions and scale.

1.0 Responses to the HF Statement of Case

5. (5.1) It has previously been demonstrated that it is possible to receive permission for a new form and for a new "material pallet". This has been previously demonstrated with [REDACTED] Statement of Case, as prepared by [REDACTED] (July 2023) pages 1 [REDACTED] 17, 18 and 19.

It is also be noted that 34 Pasture Road is subject to having received a previous approval from the Heritage Foundation (application no. 34364) which sought to modify the material pallet.

The existing pallet is noted to be hung tiles on a buff colour facing brick, to a cedar board cladding, the colour of which was "to selection". The drawings noted an ochre orange at the time of the approved application (see appendix G for previously approved scheme drawing)

Seeking approval for a similar material, in a different colour, and one which can be found on the Pasture Road should not be considered an "issue" in the context of the street.

6. (5.2) The location within the street is entirely the reason for enhancing the design and architectural quality of the dwelling.

It is believed that the property is reasonably apologetic in its setting with little merit architecturally. It is contested that the proposals would "dominate" the setting, but we would suggest that increasing the prominence is, in part, the purpose of the scheme in increasing the "street appeal" of the property.

Design shall respond to and harmonise with the individual qualities of the host building and its setting.

Pg 10 – Front Extensions

Adding elements, including extensions, to these façades can have an impact on these attractive street scenes, particularly on terraced and semi-detached houses. These proposals will therefore be carefully considered as they can detract from the architectural value of the original and alter the relationship within a group of houses by:

- *Creating an unsightly or unduly prominent form of development;*
- *Disrupting the uniformity of the front building line;*

Front extensions are discouraged.

Front extensions shall be consistent with the character of the original house, utilising the detailing and matching materials, and have balanced proportions and scale;

- *Roof pitches can have a substantial impact on the appearance of a building and the street scene; therefore, all proposed roof pitches and design of the roof and roof line shall be consistent with the original roof design of the house.*

Pg 13 - Loft conversions, dormer windows, rooflights & sun tunnels

A loft conversion is generally acceptable provided it does not alter the original roof design and ridge height.

Dormers and roof lights in most cases shall be to the rear but might be permitted on the front elevation if they are an existing characteristic of the original dwelling and street scene.

Pg 18 – Roofs, new roofs, alterations, re-tiling & repairs

Changes to the style and height of a roof will not normally be acceptable.

Roof alterations shall reflect the original roof design and specifications.

5. Issues

- 5.1 The property subject of this appeal is located on a corner plot within Pasture Road and as such provides a focal point. The existing building is circa late 1960s. The building is of its time in terms of the design and materials pallet.
- 5.2 The central concern is the proposed alterations to the roof, as it creates a substantially raised ridge to facilitate accommodation in the roof. Given the topography and highly visible and prominent location of the site, the raising of the ridge would seek to dominate the vicinity. This would have a significant impact on the streetscape on this corner plot.

1.0 Responses to the HF Statement of Case

7. (5.9) It has previously been discussed that the other colour combinations and indeed a black cladding can already be found on the Pasture road—See Statement of Case, as prepared by [REDACTED] (July 2023) page 13.

While the colouration of the cladding has previously been discussed with the original case officer as perhaps one to change, it was felt that retaining the original design principles was the “better choice” given the nature of the design philosophy.

The black and white tones can be found on Pasture Road, as previously mentioned.

8. (6.1) The comments previously made aside, each property on Pasture Road has architectural merit in each of themselves. Again, while contesting the scale of “dominance” in this case, the proposals are in place to give the property better street appeal
9. (6.2) Please see Appendix C and D of this document for reference to a property which increased its prominence on the street scene through the increase of its ridge-line.

[REDACTED] Pasture Road increased the ridge height by proximately 21%.

In direct comparison of what has been clearly found acceptable previously, 34 Pasture Road requests an increase of approximately 20%.

- 5.3 The existing property has a shallow pitch, a typical design feature of this period. Raising the pitch to accommodate additional floor space dilutes the original design of the host building.
- 5.4 Related to this, the proposal for roof lights to the north pitch is contrary to the Design Principles as the intention is to retain a simple roof plane.
- 5.5 In direct relation to the proposed raised ridge, the increased height and form of the stairwell addition detracts from the simplistic horizontal lines of the host building.
- 5.6 To facilitate the use of the roofspace for accommodation results in a cluttered rear roofline with a mix of rooflights which would be visible from Pasture Road.
- 5.7 The increase for the first-floor level with inclusion of the gabled pitch perpendicular to the host, to the proposed front, garage addition also raises concerns. An earlier scheme allowed for an increased footprint which was mitigated with a recessive approach to the roof pitch, being that of a de facto catslide with a sympathetic dormer window. The proposed however has a raised roofline and is above and beyond the approved scheme from 2019. It would substantially increase the massing of this element producing an actual and perceived bulk to the front boundary. One of the identified characteristics of the street scene and grain of Pasture Road is that the properties are set back from the highway thus allowing for a lower density.
- 5.8 There are no overriding concerns with regards to the proposed single storey addition to the rear which projects at an angle. Although the need for 3no. roof lights is questioned, a single larger rooflight would allow for greater natural light to enter, resulting in a less cluttered roof pitch.
- 5.9 There are concerns as well, over the proposed material and colour pallet. Pasture Road is eclectic in form, material and hues, however there is a relatively consistent approach to the appearance of the buildings being of predominantly reds, browns – muted tones – with other colours being of a secondary nature, especially to this section of the estate. The proposed monochromatic white render and black/grey cladding and tiles would create a prominent, alien appearance within the street scene being more reminiscent of a barn style structure.

6. AMC Comments

- 6.1 The AMC disagreed with the applicant's comment that the increased height of the proposal would not be so noticeable as the site is on a dip. The AMC felt that the angle and increased pitch of the gable roof would be a very dominant feature.
- 6.2 The AMC agreed that material and colour of the proposal is not conducive to the area. There are some brown timber clad examples in the road, but the scale of this proposal is more prominent.

1.0 Responses to the HF Statement of Case

10.(6.3) Save for the height, the footprint massing of the proposal has already received consent from the Heritage Foundation.

Therefore the 'flow of the road' would not be compromised in anyway due to the minor increase in the height of the forward proposals.

11.(7.2) it is submitted that there are multiple examples on the Pasture Road that have previously received permission for similar or identical modifications to such properties.

No. [REDACTED] Pasture Road was permitted to substantially increase the ridge height, bulk and mass of the property as well as bring forward the property line which is demonstrated under Appendix C and D.

12.No. [REDACTED] Pasture Road was permitted to substantially infill it's forward elevation with a forward facing gable and additional accommodation in what can only be described as a "highly visible and prominent location" - We would suggest that No. [REDACTED] is, in actuality, more visible and prominent than this site which is subject to the appeal.

13.Appendix A and B demonstrates approximate key dimensions to note for the appeal site

14.Appendix C and D outline the previously approved scheme at no. [REDACTED] Pasture Road

6.3 The AMC also were concerned with the massing caused by bringing the garage forward; they also felt that the flow of the road would be compromised.

6.4 The Committee members were unanimous in supporting the decision to refuse consent, made by the Heritage Advice Service.

7. Conclusions

7.1 Since the refusal, the appellant and the Foundation have been in discussions and it is believed that the appellant is willing to move on some issues such as the material and colour pallet and positioning and number of roof lights. However, the fundamental issues remain in terms of the raising of the roof to accommodate a second floor and the dramatic changes to the front elevation.

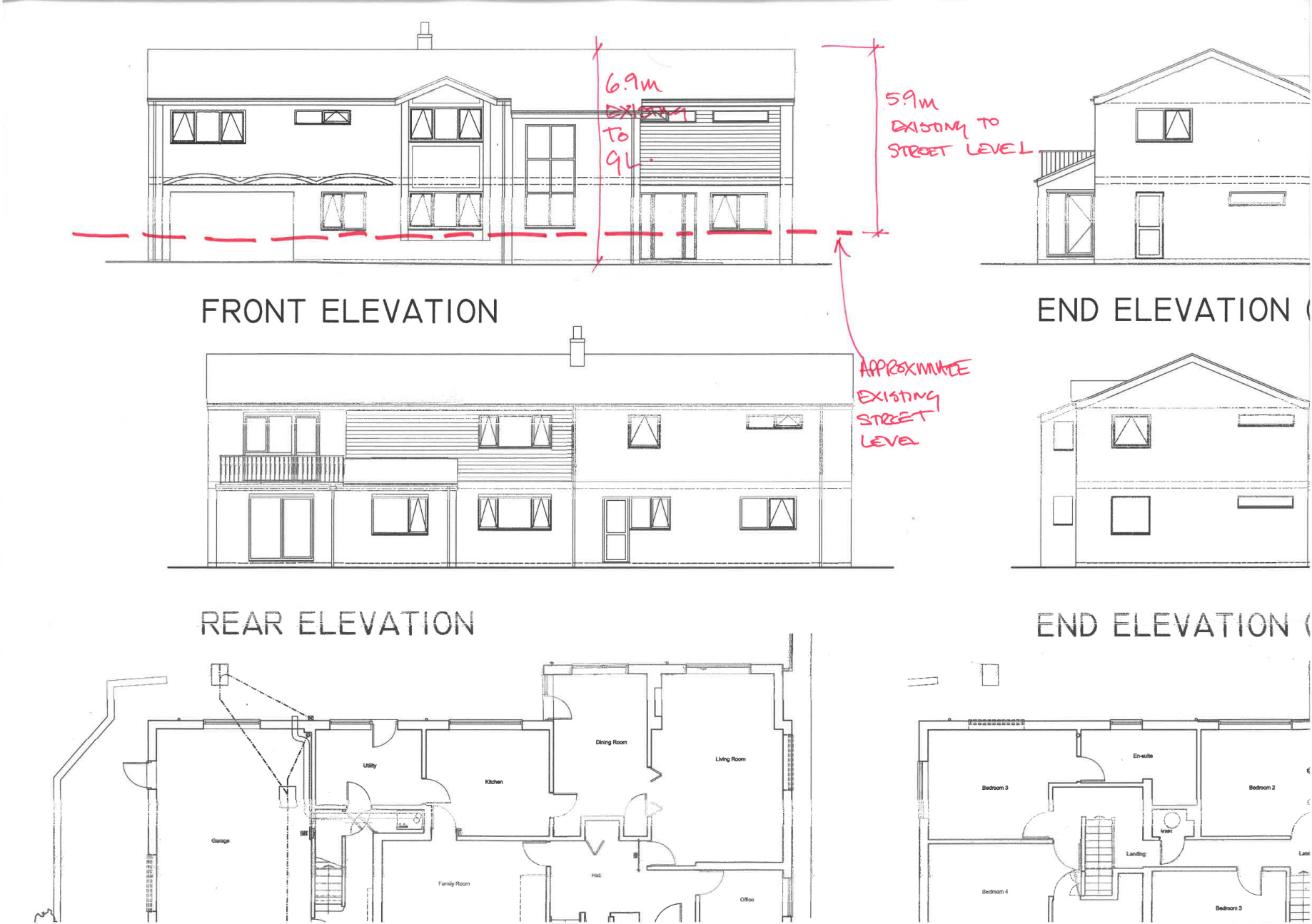
7.2 Overall, it is our view that the application represents a clear breach of the Design Principles, which have been carefully formulated to avoid this type of alteration. The application fails to preserve the character and appearance of the existing property and the Modern Character Area.

7.3 It is therefore respectfully requested that this appeal is dismissed.

15.Appendix E and F provides dimensions and comparison diagrams for the approved proposals for no. [REDACTED] Pasture Road

16.With the previously submitted Statement of case in mind, as well as these substantiated responses following the Heritage Foundation Comments, it is hoped that it is clear that these proposals seek to do nothing more to this property than what has previously been granted permission under the same Design Principle Guidelines.

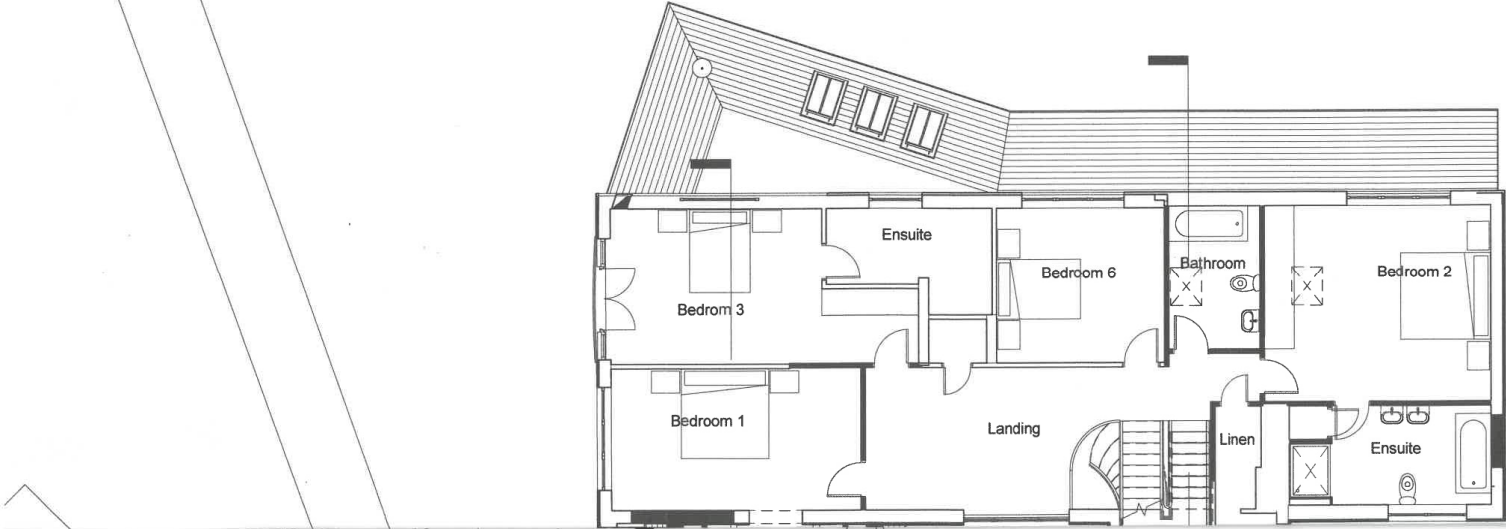
Appendix **A**, Appeal Site Dimensions as Existing



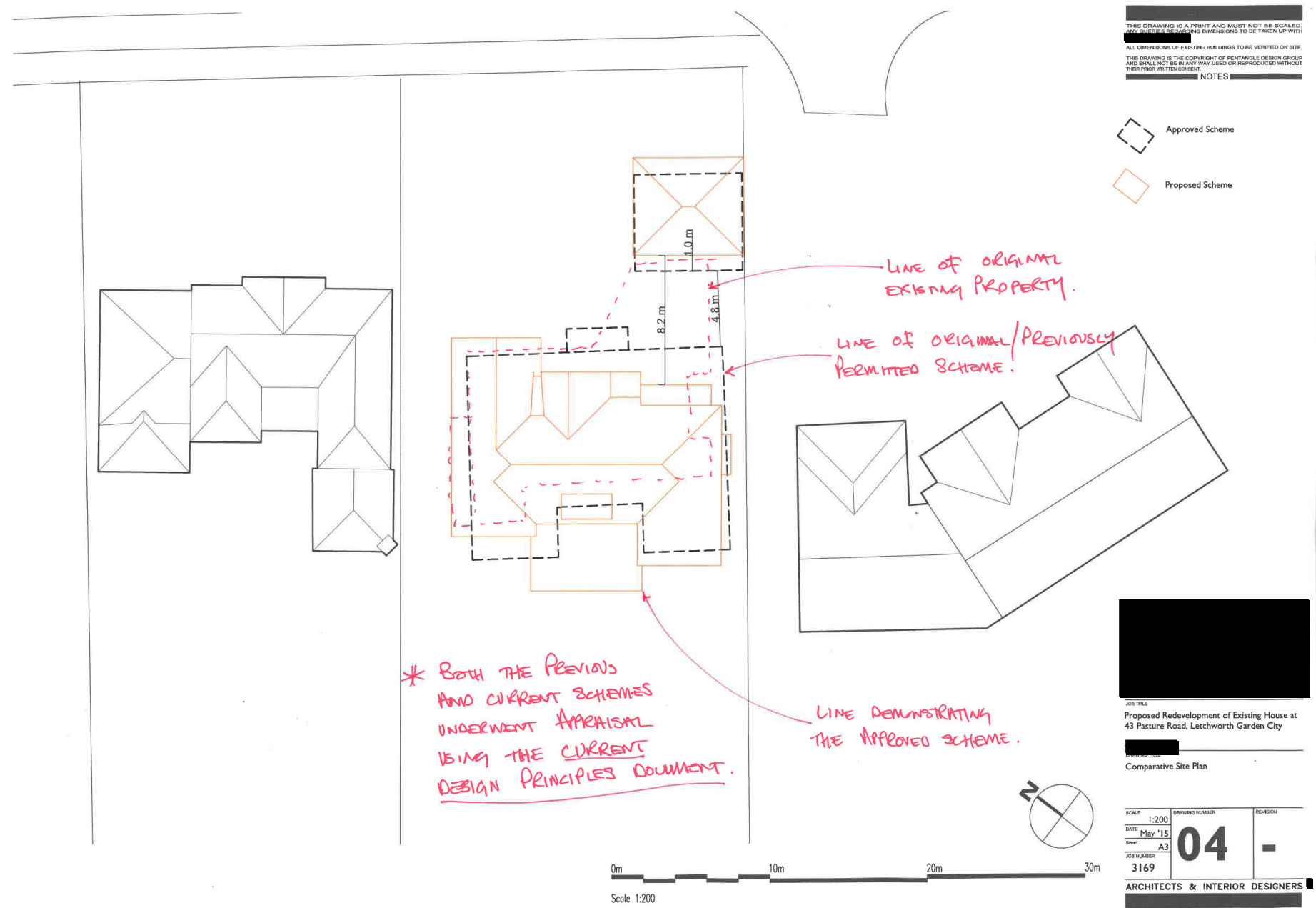
Appendix **B**, Appeal Site Dimensions as Proposed



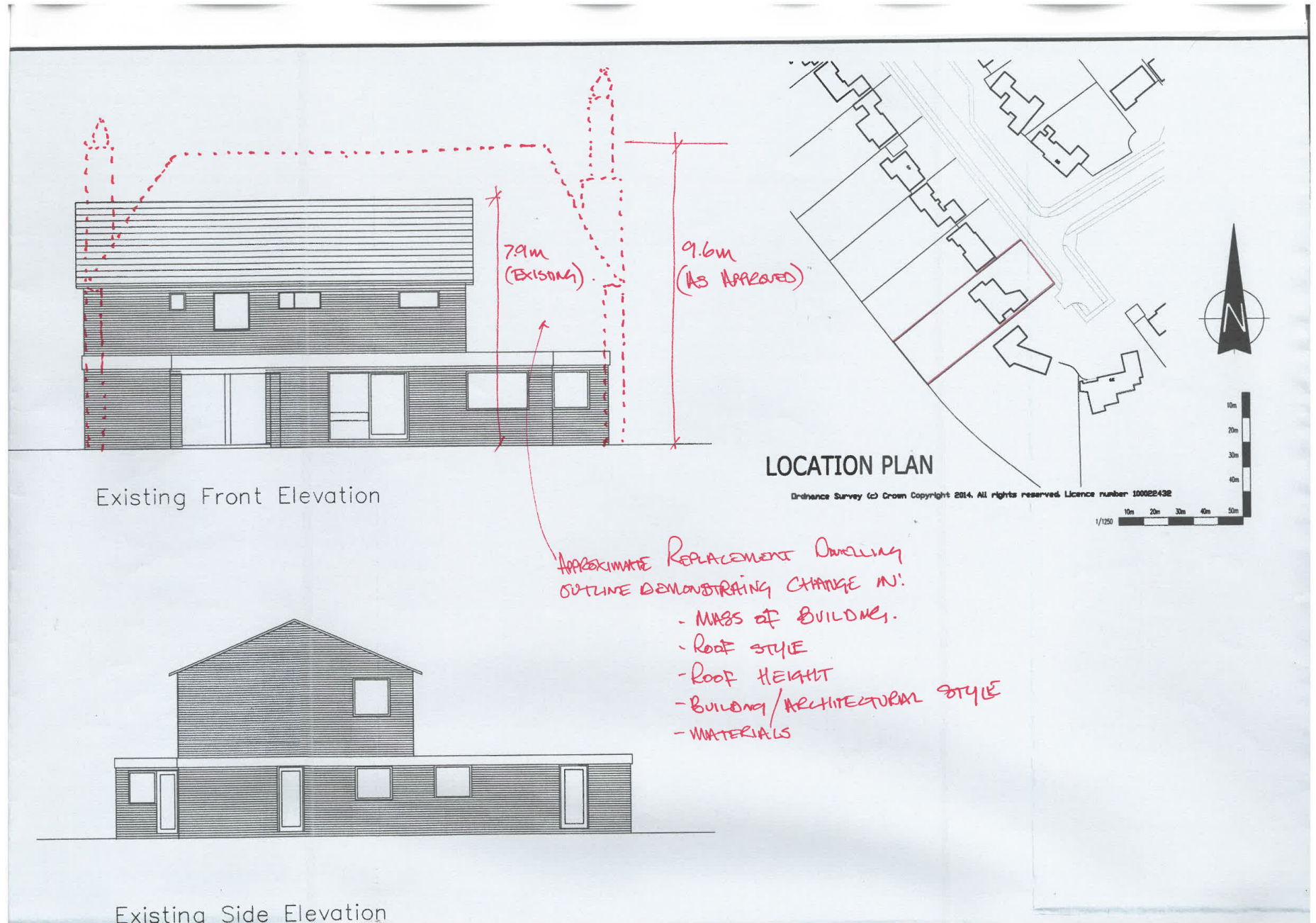
Front Elevation as Proposed
1:100



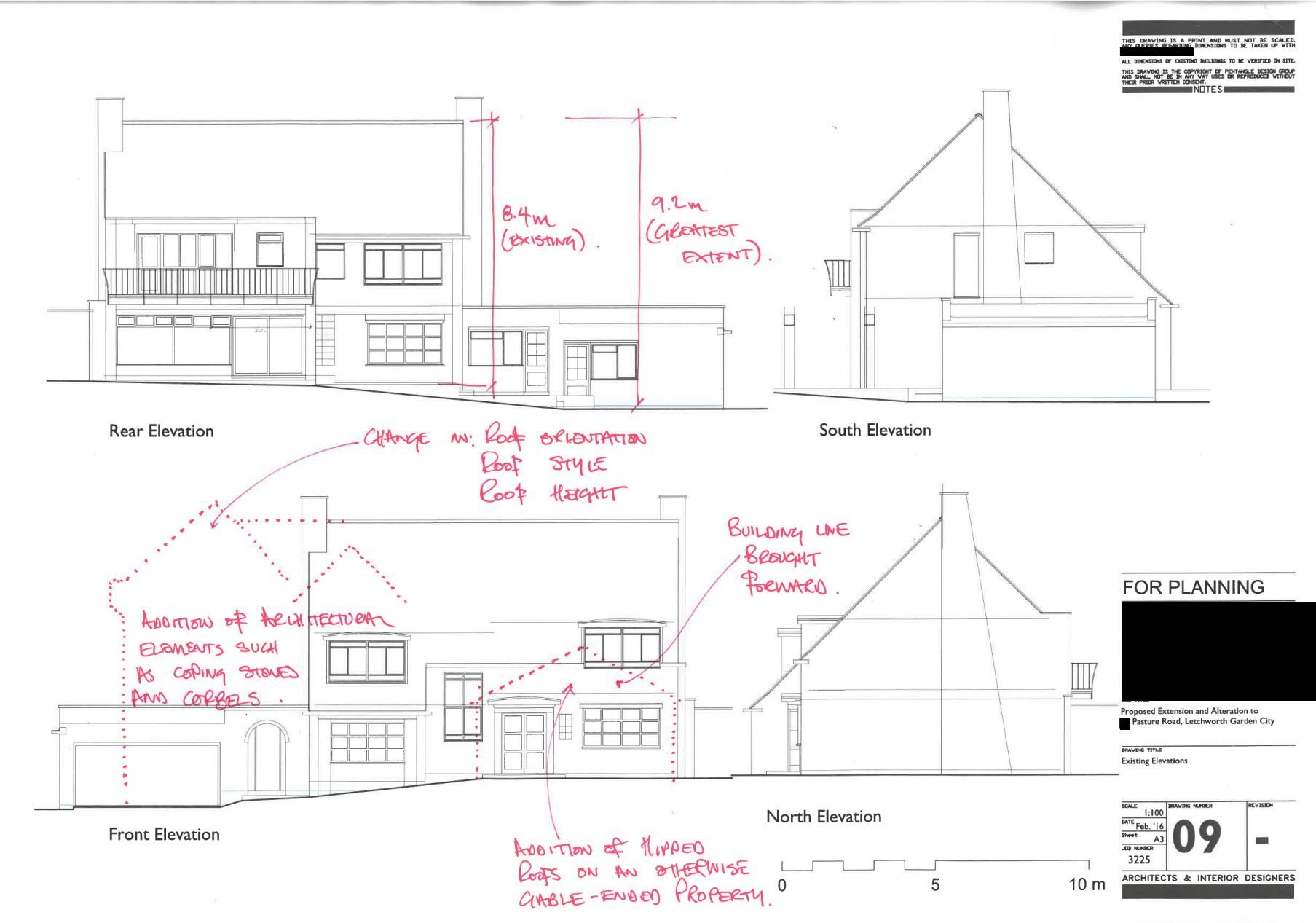
Appendix C, No. ■ Pasture Road Site Dimensions as Comparisons



Appendix D, No. ■ Pasture Road, Dimensions



Appendix E, No. ■ Pasture Road, Existing Dimensions



Appendix F, No. [REDACTED] Pasture Road, Proposed Dimensions



Proposed Front Elevation

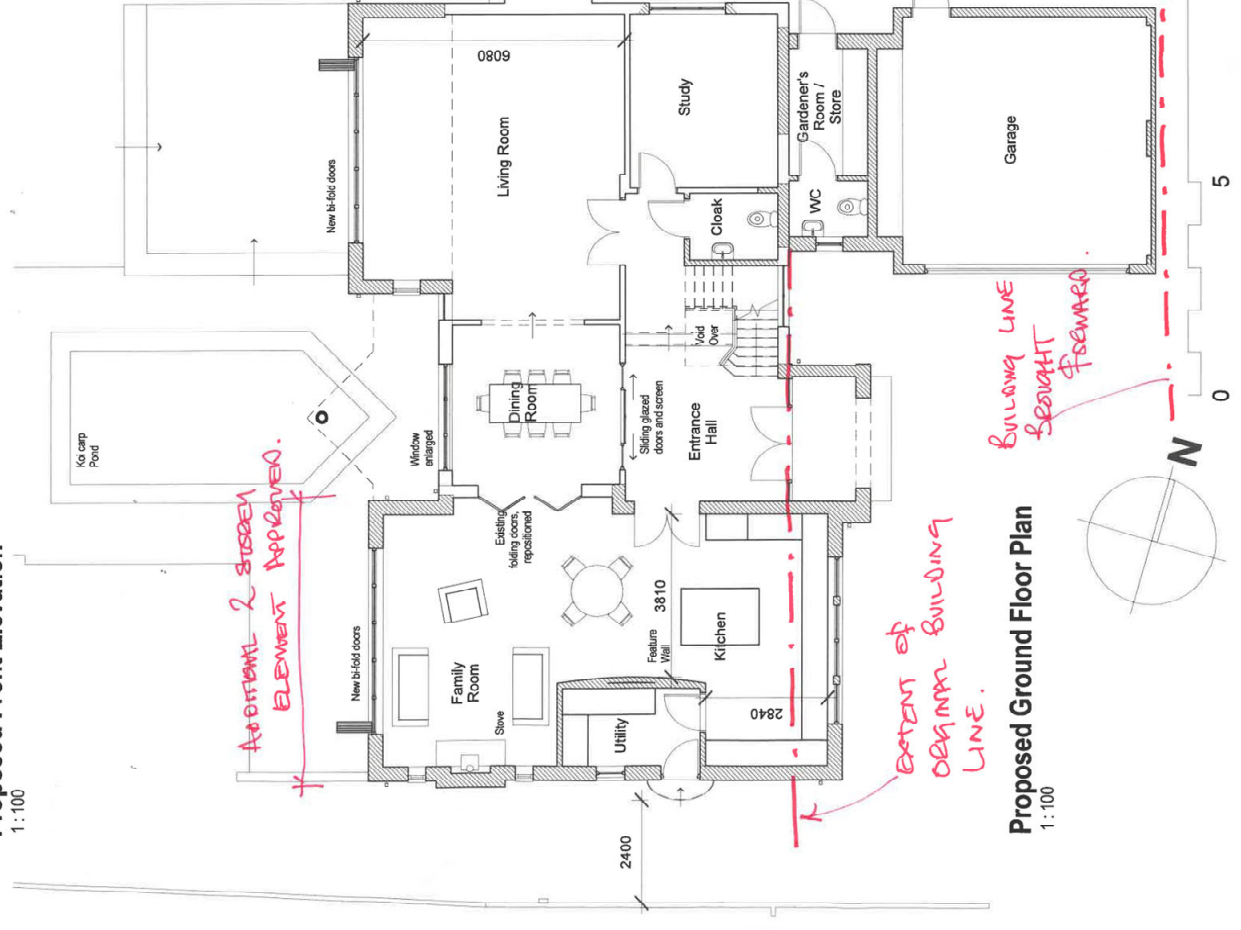
1:100

Materials
Walls
Facing brick to match existing
Cedral Weatherboarding to rear elevation
Reconstituted Stone detailing surround to porch

Roof
 Tiles to match existing
 Single ply with 'lead-profile' rolls to flat roofes areas
 Reconstituted Stone Coping where applicable

Doors/ Windows
Powder-coated aluminium, equal sight-lines
Powder-coated aluminium doors
Reconstructed Stone detailing

Rainwater Goods
Black 'cast iron profile' powder-coated aluminium
gutters and downpipes



Proposed Ground Floor Plan

1:100

FOR PLANNING

JOB TITLE
Extension and Alterations To
Pasture Road, Letchworth Garden City

Proposed Ground Floor Plan and Front Elevation

Proposed Ground Floor Plan and Front Elevation

SCALE	DRAWING NUMBER	REVISION
1:100	45	B
DATE Feb. '16	SIT SIZE A3	JOB NUMBER
		3225

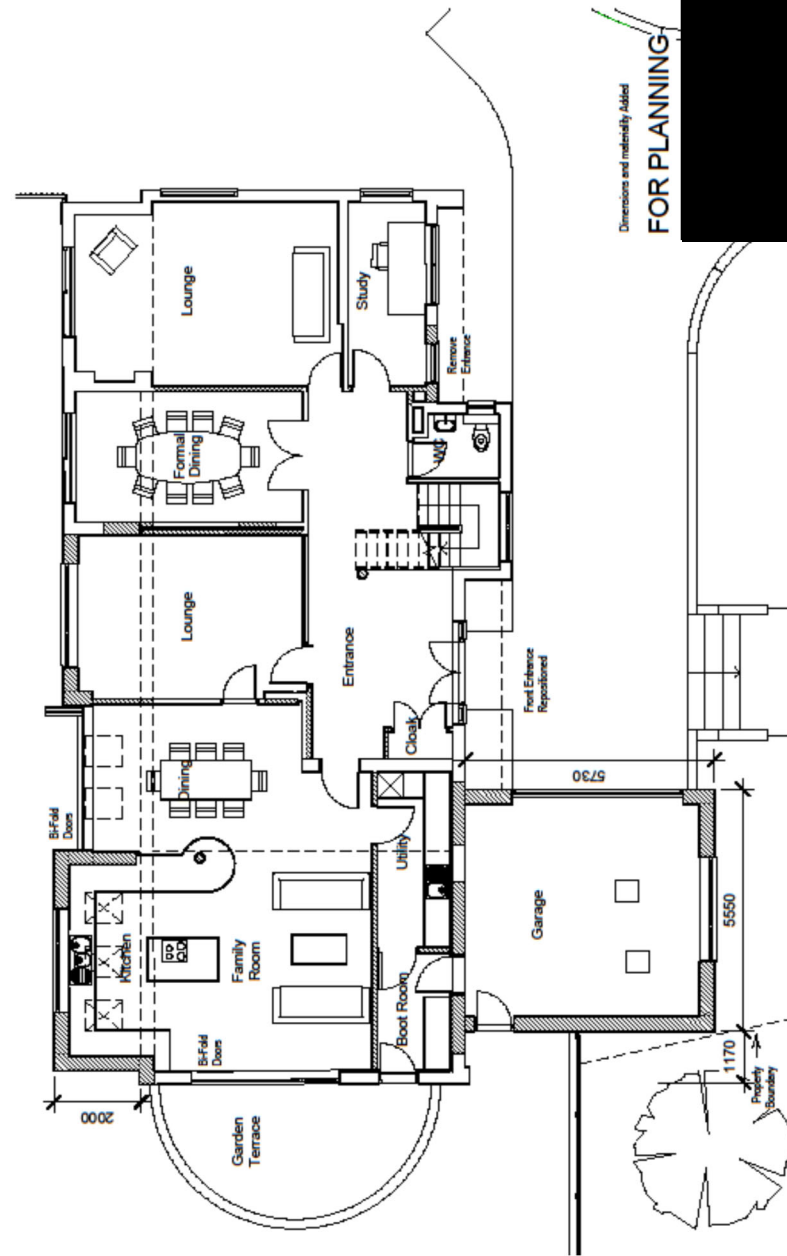
ARCHITECTS AND INTERIOR DESIGNERS

Appendix G, Previously Approved Scheme

THIS DRAWING IS A PRELIMINARY DESIGN AND NOT BE USED FOR CONSTRUCTION. ALL DIMENSIONS OF EXISTING BUILDINGS TO BE VERIFIED ON SITE. THIS DRAWING IS THE PROPERTY OF ARCHITECTS AND INTERIOR DESIGNERS. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT FOR ANY OTHER PURPOSE. THE ARCHITECTS AND INTERIOR DESIGNERS ACCEPT NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND ARISING FROM THE USE OF THIS DRAWING.



Front Elevation as Proposed
1:100



Ground Floor Plan as Proposed
1:100

Dimensions and materials added
FOR PLANNING

2024 TITLE
Proposed Alterations and Extension to
34 Peckham Road, Letchworth Garden City

for
DRAWING TITLE
Proposed Ground Floor Plan and Front Elevation

SCALE	1:100
DATE	Aug 75
JOB NO.	1111 AD
JOB NUMBER	3195

ARCHITECTS AND INTERIOR DESIGNERS

Walls
Facing back to match existing
Cedar board cladding, colour to selection

Roofs
To match existing

New windows and doors
Powder Coated Aluminium, colour to selection

Fences and remainder goods
Powder Coated Aluminium

0 5 10 m