

204 Icknield Way, SG6 4AA: Application for exception to 20m² rule for garden outbuilding

Garden layout with scale:

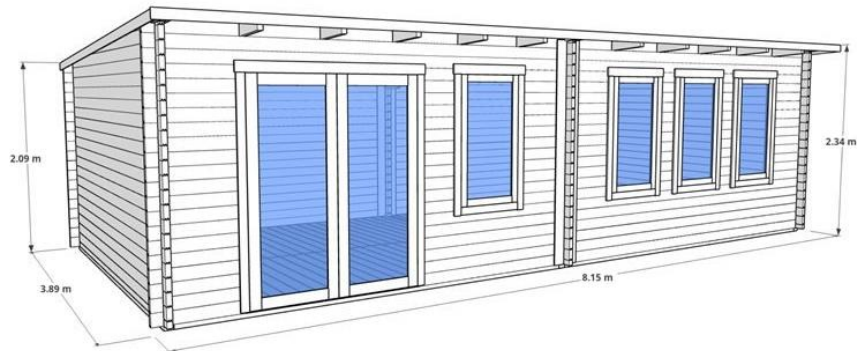
This google image shows the layout of the property and the proposed scale and location of the outbuilding in the back corner of the garden. The total area of the property is ~1000 m². Of this roughly 500m² is considered back garden as indicated by the partition. The dotted outline shown for the proposed outbuilding is 4 x 8 m = 32m² and represents 6% of the back garden area. It is over 1m from each boundary, and shaded by tree cover on two sides. Tree cover and hedges also completely enclose the property and so the outbuilding will be barely visible from the street at any angle.



Outbuilding design:

We will purchase it as a shell and plan to make modifications to make sure it is in keeping with the features of the house. It will not be a modern looking square insulated box. The shell will be similar to one of these options, likely the pitched roof option. The ridge height will not exceed 2.5m.

Option A



Option B

