



0 25m 50m 75m 100m 1:1250



**Key**

- Indicative site boundary - refer to title deed
- Existing building footprints

Note: This drawing is copyright  
 Do not scale from this drawing  
 Note: to be read in conjunction with Structural Engineers  
 Information, specification and drawings

All setting out dimensions to be checked on site by  
 contractor and any discrepancies to be noted ASAP.  
 Windows, steelwork, to be site sized.

All sundry work not shown to be undertaken in accordance  
 with the British Standards.

60 Howard Drive

Job No. **219** Location Plan

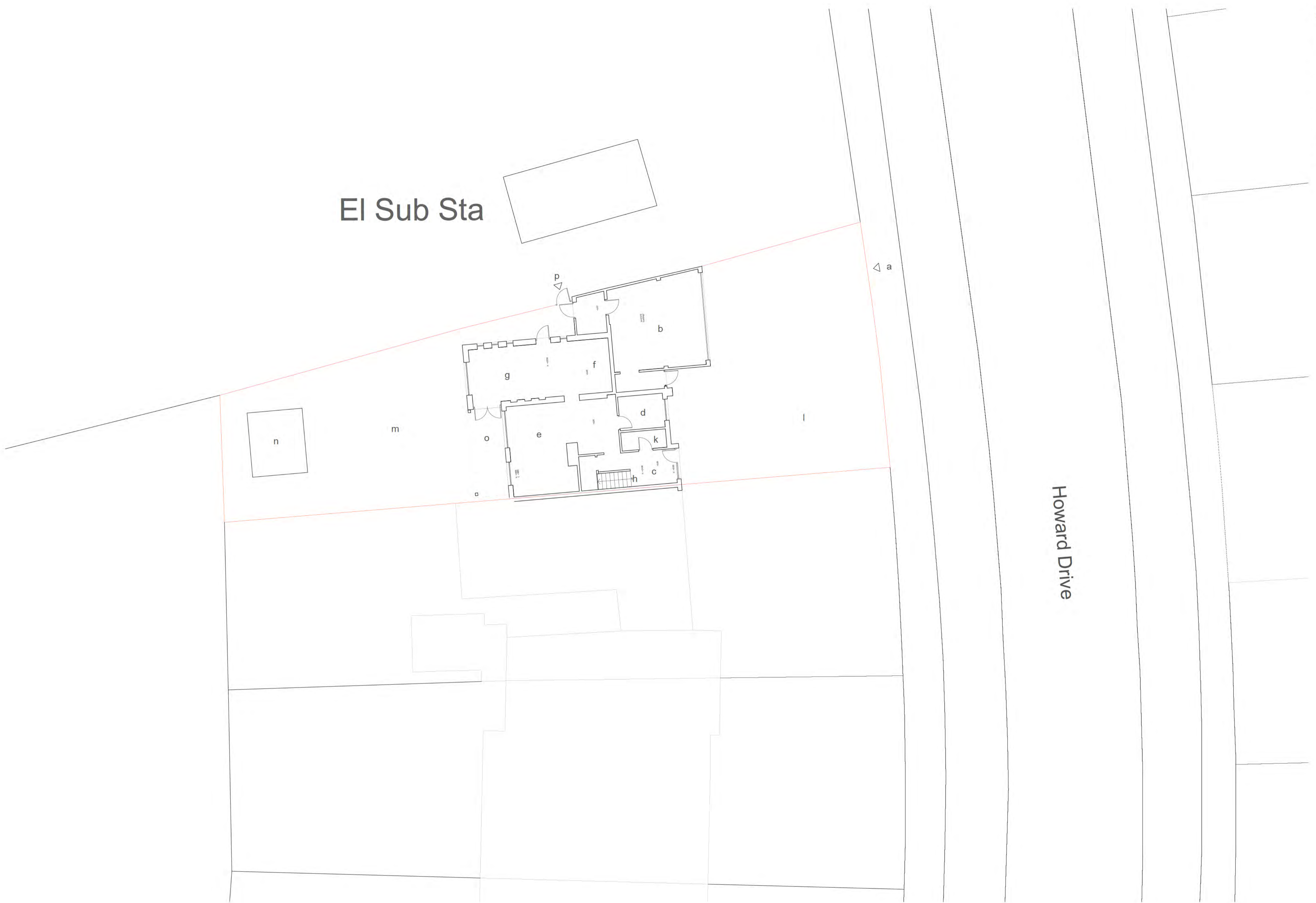
Stage: Stage 3  
 Status: Planning Application

**001**

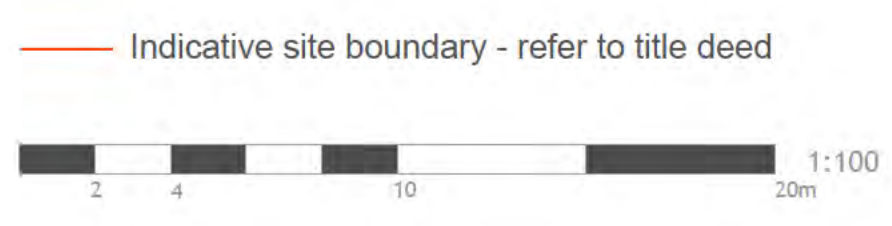
REVISION: Scale 1:1250@:A4

- Notes:
- a. Existing vehicle and pedestrian access
  - b. Existing garage
  - c. Existing entrance hall
  - d. Existing utility room
  - e. Existing living space
  - f. Existing kitchen
  - g. Existing dining space
  - h. Existing staircase
  - i. Existing bedroom
  - j. Existing bathroom
  - k. Existing wc
  - l. Existing front garden
  - m. Existing rear garden
  - n. Existing garden shed
  - o. Existing canopy above
  - p. Existing side access

El Sub Sta



Howard Drive



Note: This drawing is copyright

Do not scale from this drawing  
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All setting out dimensions to be checked on site by contractor and any discrepancies to be noted ASAP. Windows, steelwork, to be site sized.

All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive

Job No. 219 Site and Ground Floor Plan as Existing

Stage: Stage 3  
Status: Planning Application

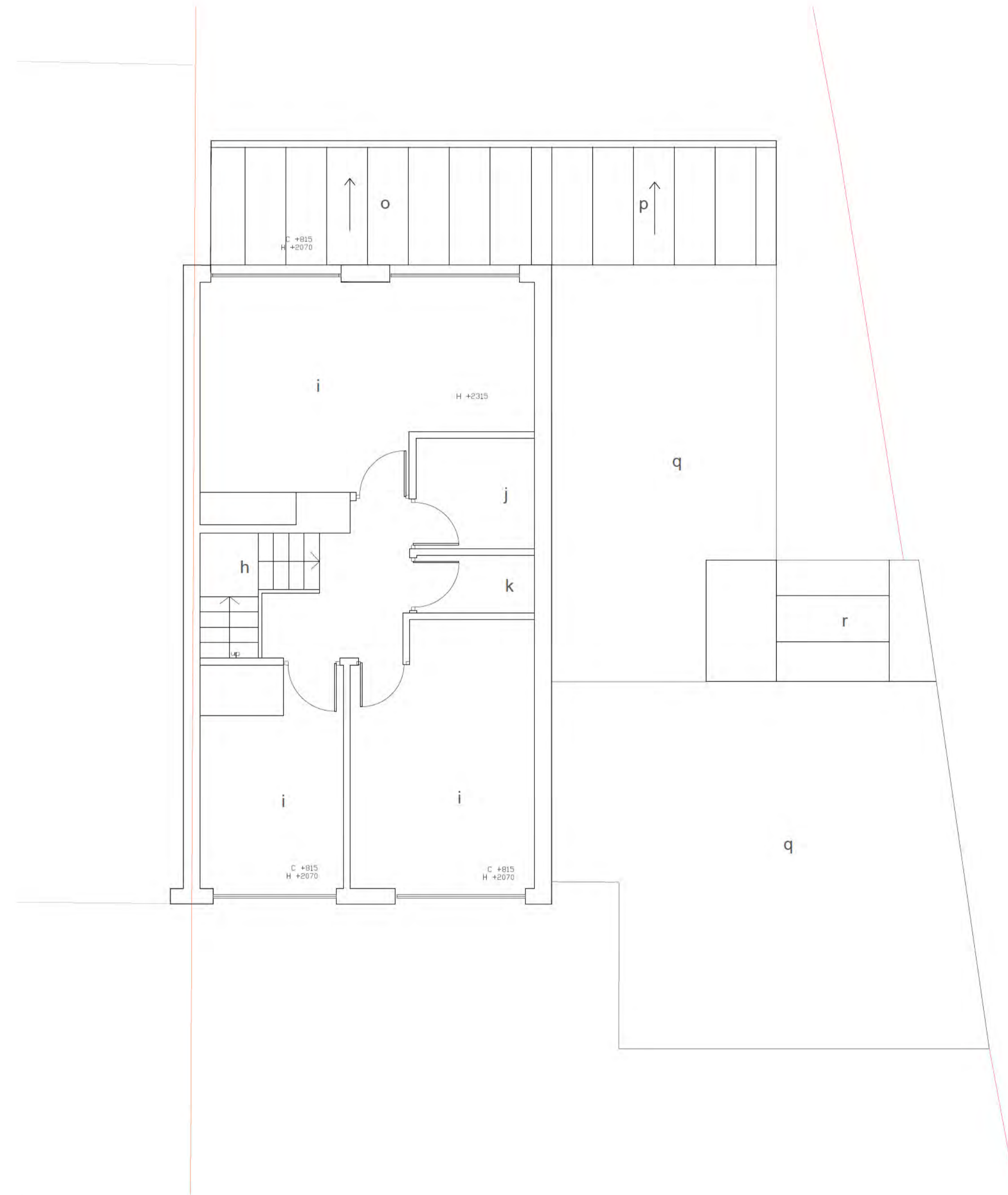
002

REVISION: Scale 1:100@A1

- Notes:
- a. Existing vehicle and pedestrian access
  - b. Existing garage
  - c. Existing entrance hall
  - d. Existing utility room
  - e. Existing living space
  - f. Existing kitchen
  - g. Existing dining space
  - h. Existing staircase
  - i. Existing bedroom
  - j. Existing bathroom
  - k. Existing wc
  - l. Existing front garden
  - m. Existing rear garden
  - n. Existing garden shed
  - o. Existing canopy
  - p. Existing pitched roof
  - q. Existing flat roof
  - r. Existing rooflight
  - s. Existing storage room



Ground Floor Plan as Existing



First Floor Plan as Existing



— Indicative site boundary - refer to title deed



Note: This drawing is copyright

Do not scale from this drawing  
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All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive

Job No. 219 Plans as Existing

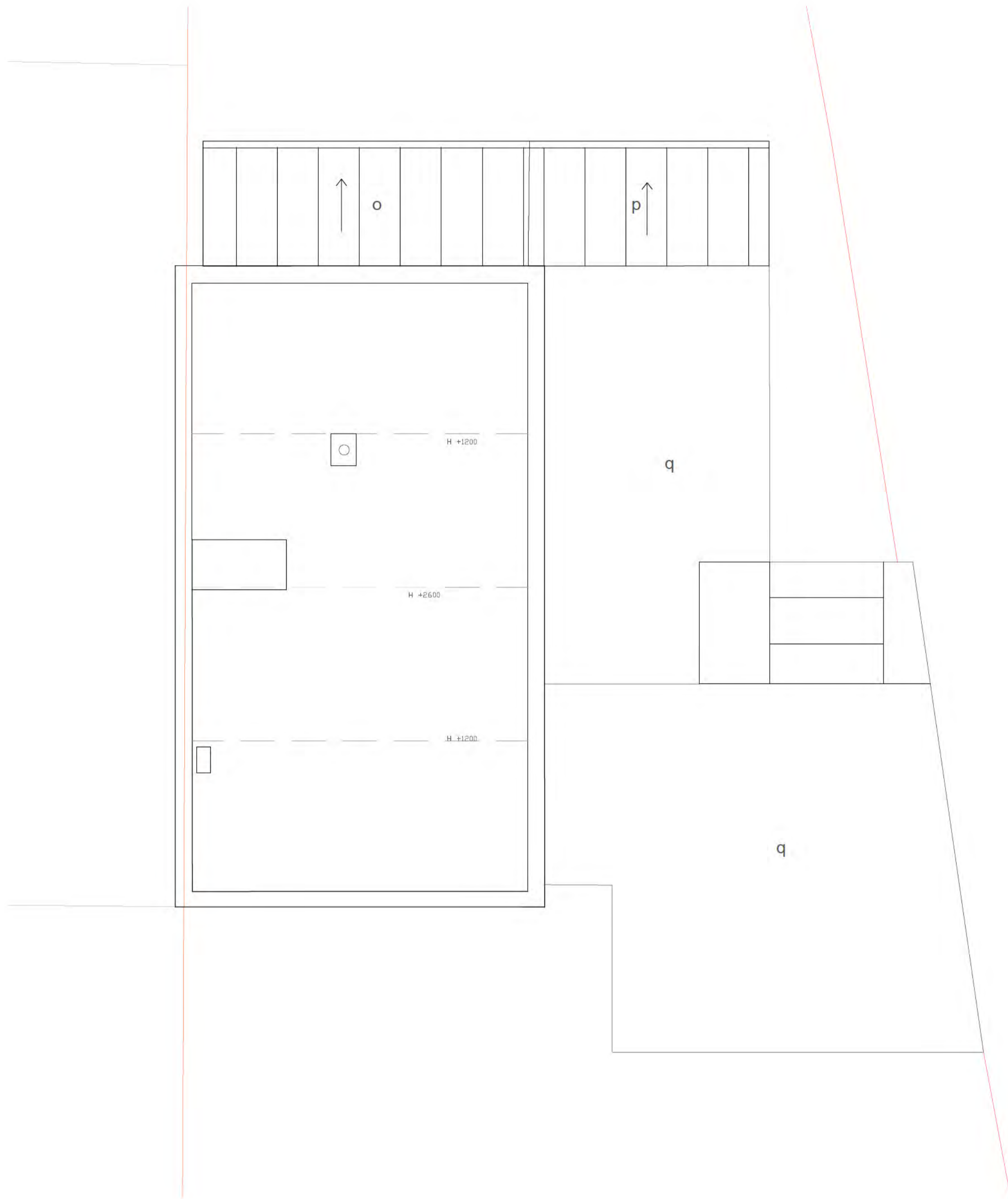
Stage: Stage 2  
Status: Pre-Application

003

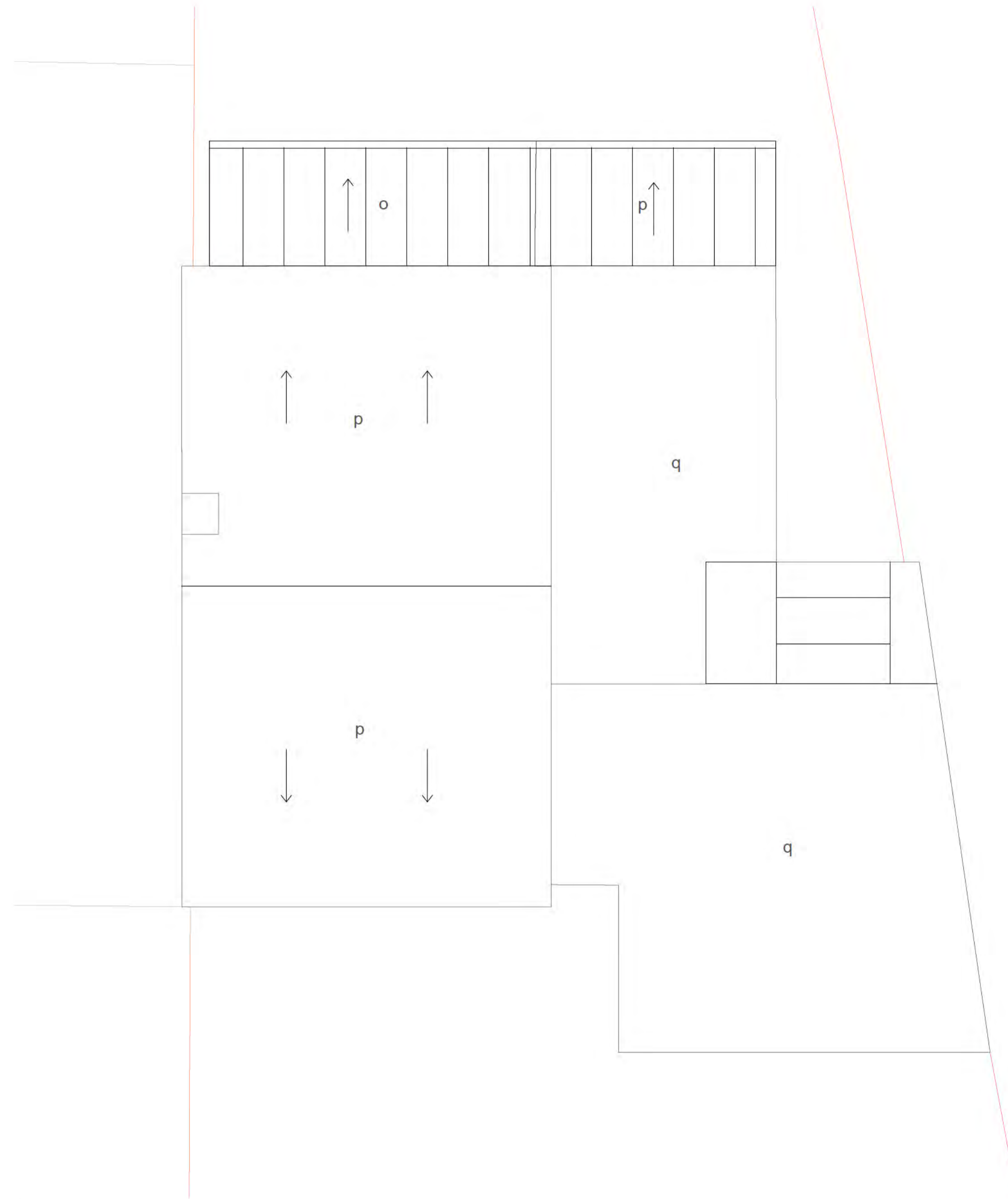
REVISION: Scale 1:50@A1

Notes:

- a. Existing vehicle and pedestrian access
- b. Existing garage
- c. Existing entrance hall
- d. Existing utility room
- e. Existing living space
- f. Existing kitchen
- g. Existing dining space
- h. Existing staircase
- i. Existing bedroom
- j. Existing bathroom
- k. Existing wc
- l. Existing front garden
- m. Existing rear garden
- n. Existing garden shed
- o. Existing canopy
- p. Existing pitched roof
- q. Existing flat roof
- r. Existing rooflight
- s. Existing storage room



Attic Floor Plan as Existing



First Floor Plan as Existing

— Indicative site boundary - refer to title deed



Note: This drawing is copyright

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Note: This drawing is not a deed plan.

60 Howard Drive

Job No. 219 Plans as Existing

Stage: Stage 2  
Status: Pre-Application

004

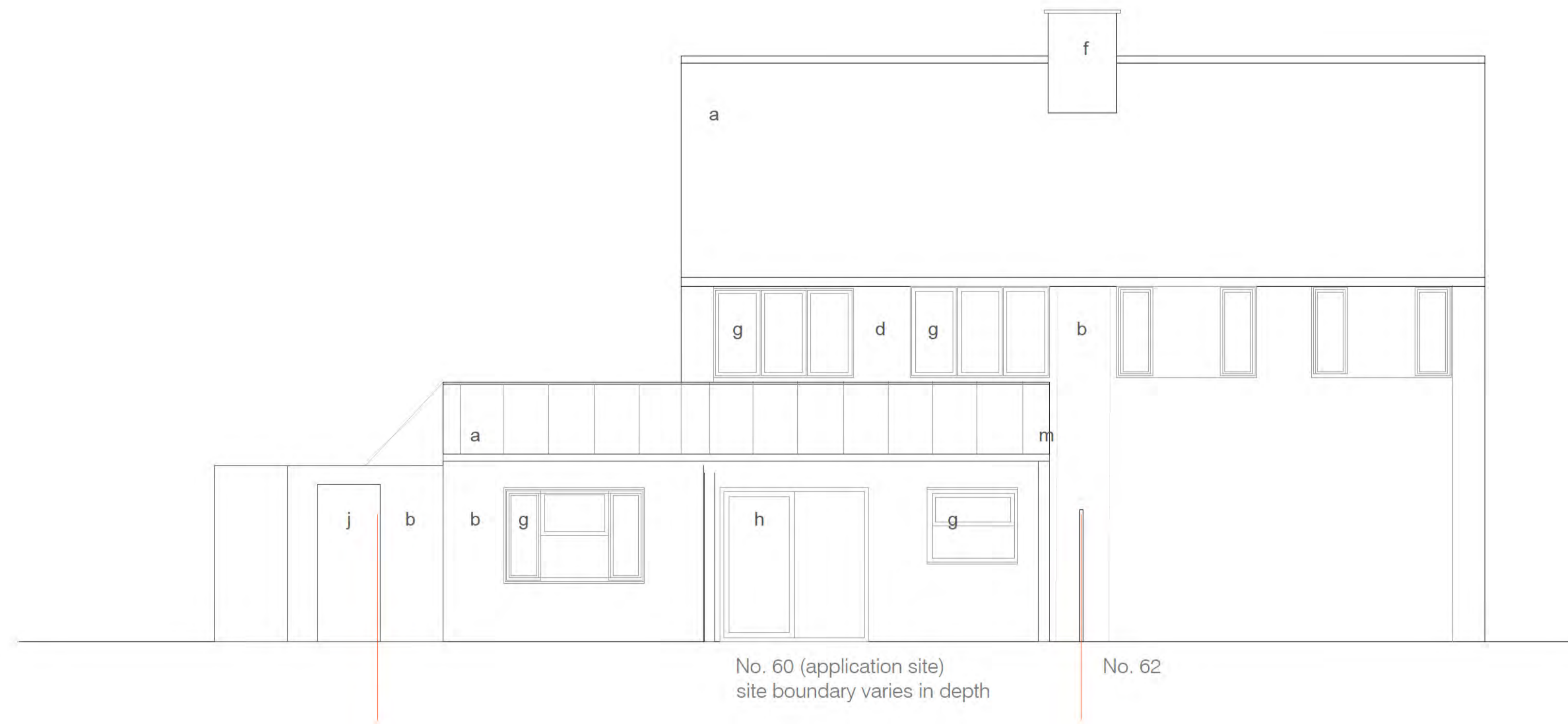
REVISION: Scale 1:50@A1

Notes:

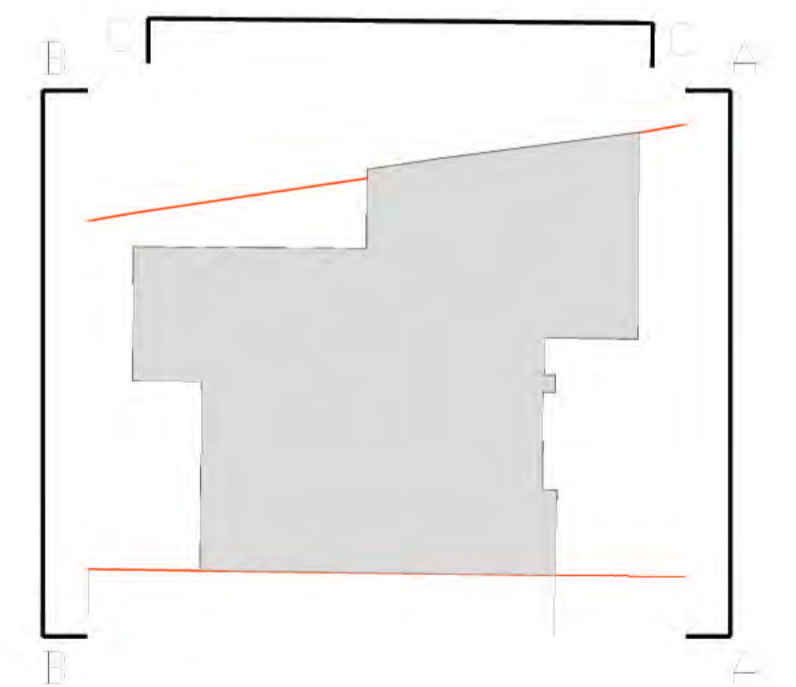
- a. Existing pitched roof
- b. Existing brick wall
- c. Existing shingle wall
- d. Existing render wall
- e. Existing solar panels
- f. Existing chimney stack
- g. Existing window
- h. Existing glazing door
- i. Existing entrance door
- j. Existing side door
- k. Existing roof light
- l. Existing garden shed
- m. Existing canopy
- n. Existing garage



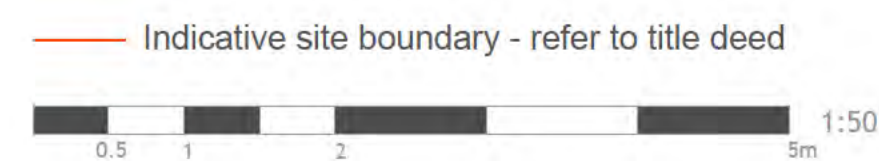
Front Elevation A as Existing



Rear Elevation B as Existing



Elevation Key Plan Not to scale



Note: This drawing is copyright

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Note: This drawing is not a deed plan.

60 Howard Drive

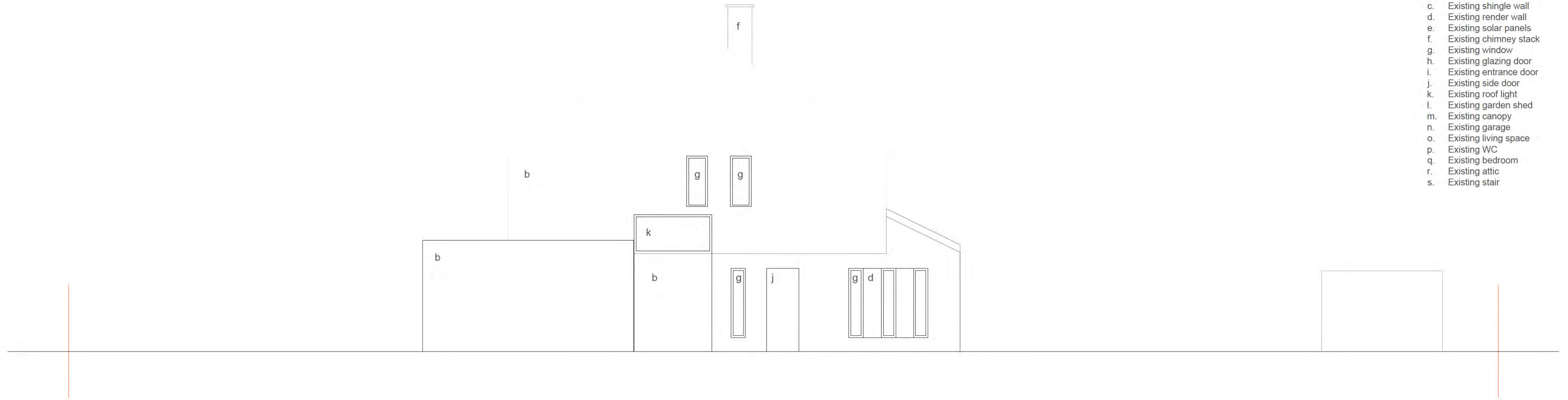
Job No. 219 Elevations as Existing

Stage: Stage 3  
 Status: Planning Application

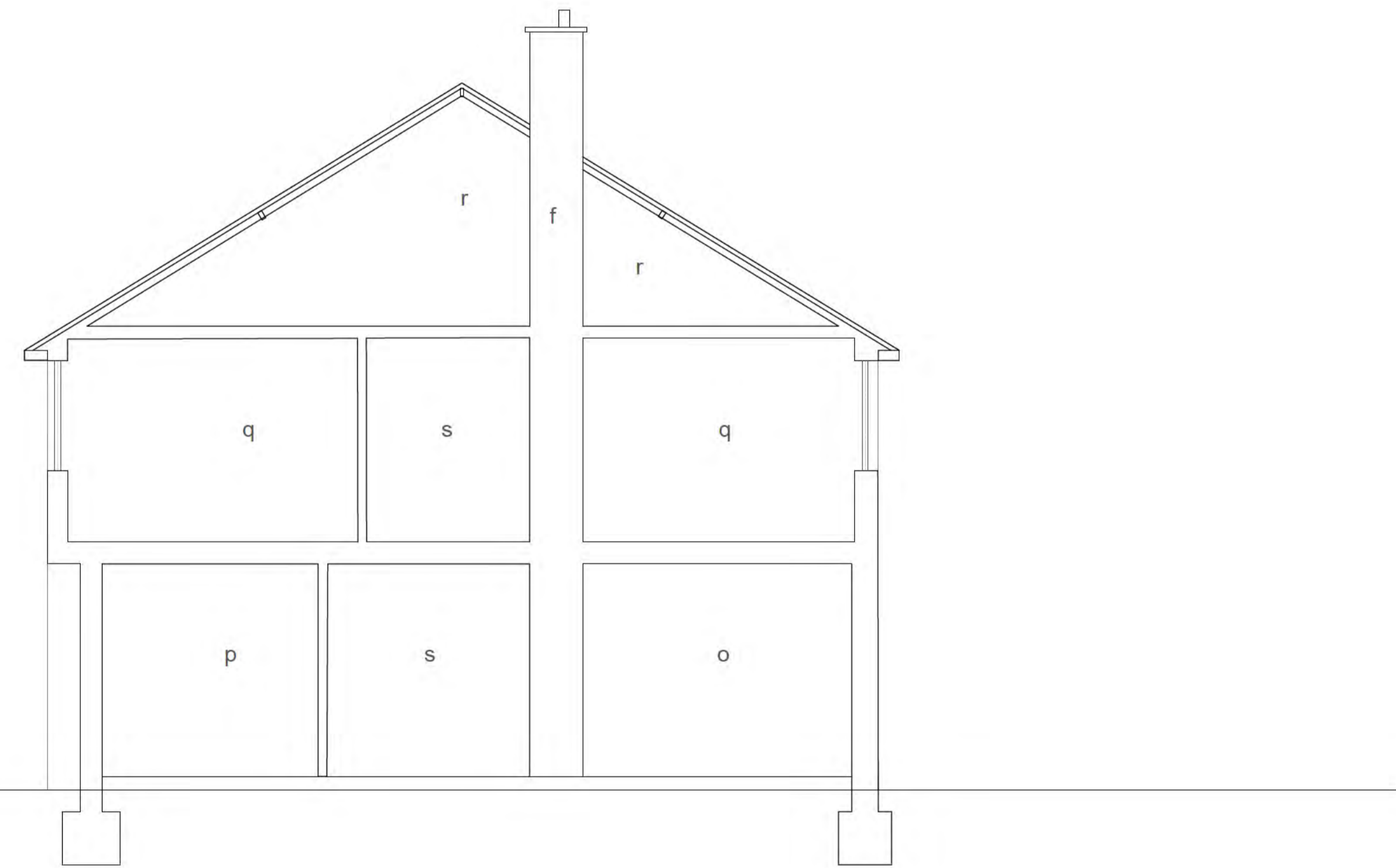
005

REVISION: Scale 1:100@A1

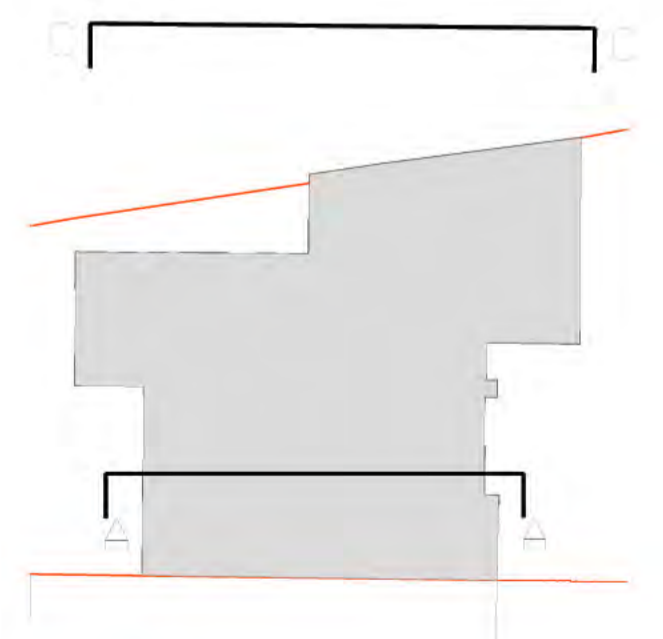
- Notes:
- a. Existing pitched roof
  - b. Existing brick wall
  - c. Existing shingle wall
  - d. Existing render wall
  - e. Existing solar panels
  - f. Existing chimney stack
  - g. Existing window
  - h. Existing glazing door
  - i. Existing entrance door
  - j. Existing side door
  - k. Existing roof light
  - l. Existing garden shed
  - m. Existing canopy
  - n. Existing garage
  - o. Existing living space
  - p. Existing WC
  - q. Existing bedroom
  - r. Existing attic
  - s. Existing stair



Side Elevation C as Existing



Section A as Existing



Elevation Key Plan Not to scale

— Indicative site boundary - refer to title deed



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Note: This drawing is not a deed plan.

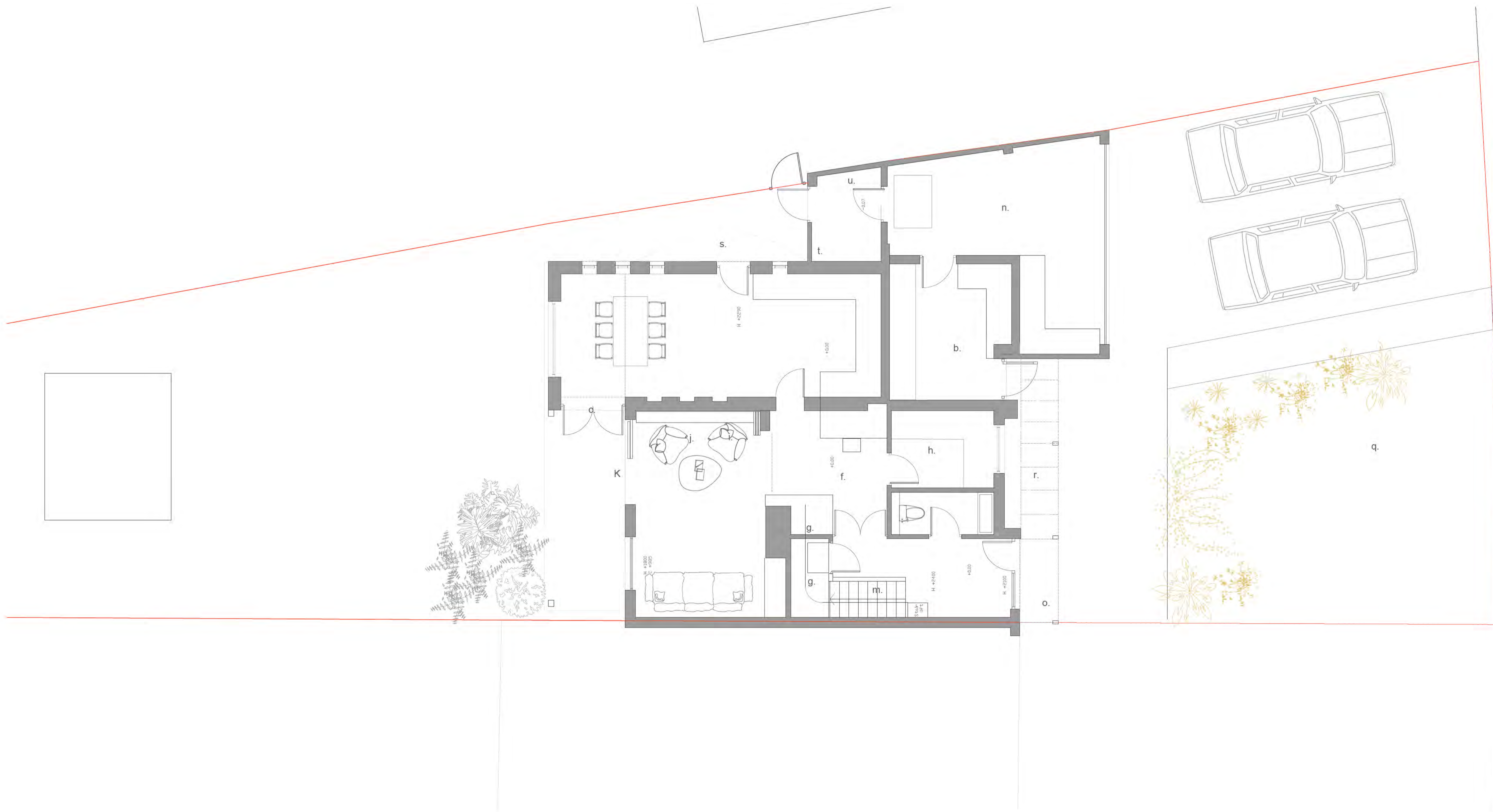
60 Howard Drive

Job No. 219 Elevations as Existing

Stage: Stage 3  
 Status: Planning Application

006

REVISION: Scale 1:100@A1



- Notes:
- a. Existing lobby retained
  - b. New workshop
  - c. Rooflight over
  - d. existing canopy
  - e. Enlarged living room area
  - f. New central hallway
  - g. storage
  - h. Utility room.
  - i. display shelving
  - j. TV area / display
  - k. New sliding door
  - l. New french/ or sliding doors.
  - m. Void over
  - n. garage/store/kayaks etc.Extended
  - o. New porch / lobby installed
  - p. Grasscrete SUDS paving
  - q. Existing biodiverse garden
  - r. Pergola over
  - s. Canopy above
  - t. New shed below window
  - u. Existing wall retained to form a new storage

- Note:
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters

Key  
 - - - - - Duntakings  
 - - - - - Indicative site boundary - refer to title deed



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 Windows, steelwork, to be site sized.

All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive

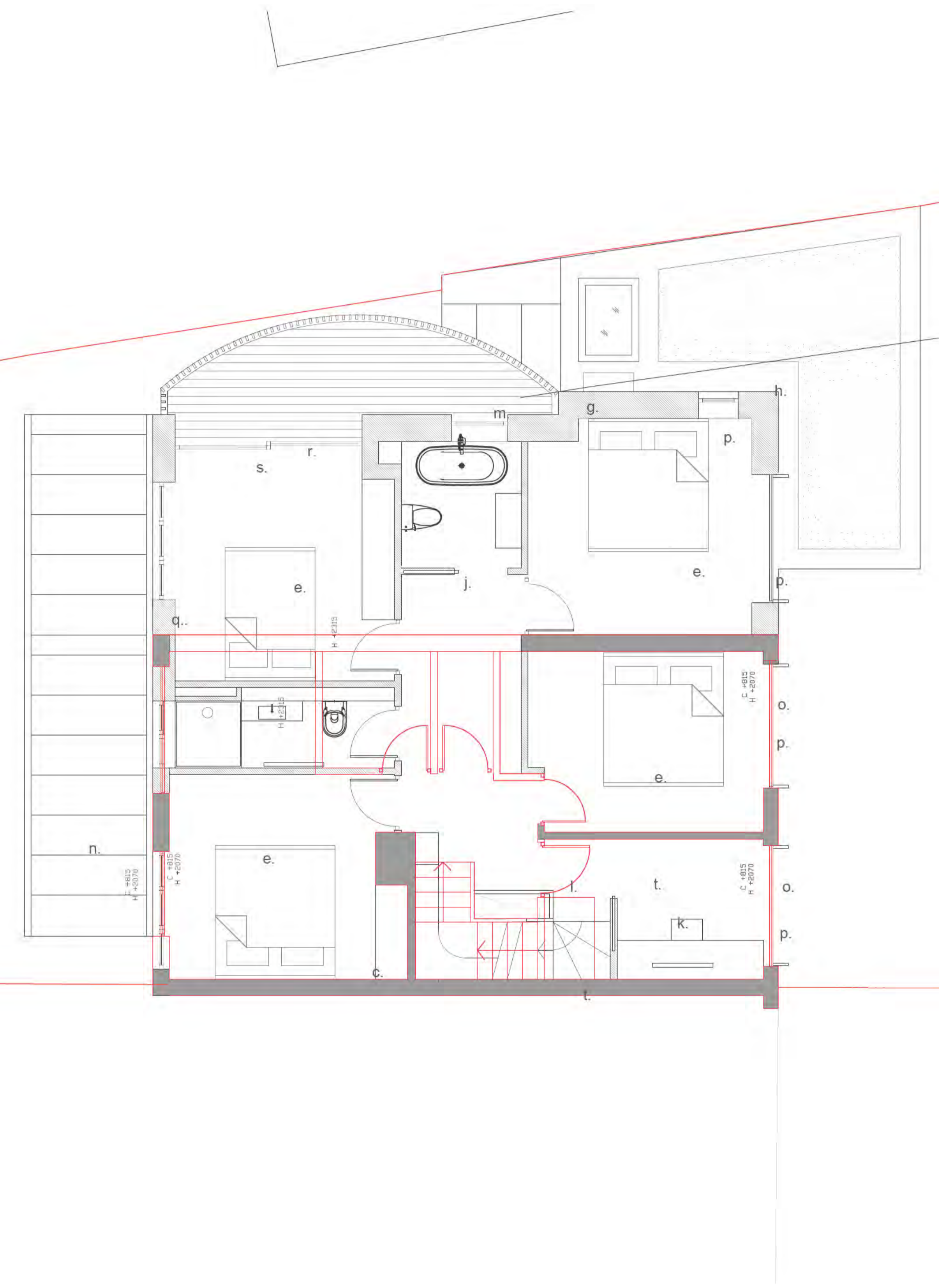
Job No. **219** Proposed Site and Ground Floor Plan

Stage: Stage 3  
 Status: Preliminary

**020**

REVISION: Scale 1:50@A1

**Key**  
 - Downtakings  
 - Indicative site boundary - refer to title deed



- Notes:**
- a. Rooflight over
  - b. New canopy
  - c. storage
  - d. Void over
  - e. New bedroom
  - f. Balcony
  - g. ASHP
  - h. New Wildflower roof
  - i. New shower room
  - j. New bathroom
  - k. Craft/art space
  - l. Gallery over
  - m. Rooflight
  - n. Pitched roof below
  - o. Solar blinkers
  - p. Low G glass to new windows
  - q. Low energy timber frame walls
  - r. Balcony
  - s. Sliding doors
  - t. Library hallway

- Note:**
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters

Note: This drawing is copyright

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All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive

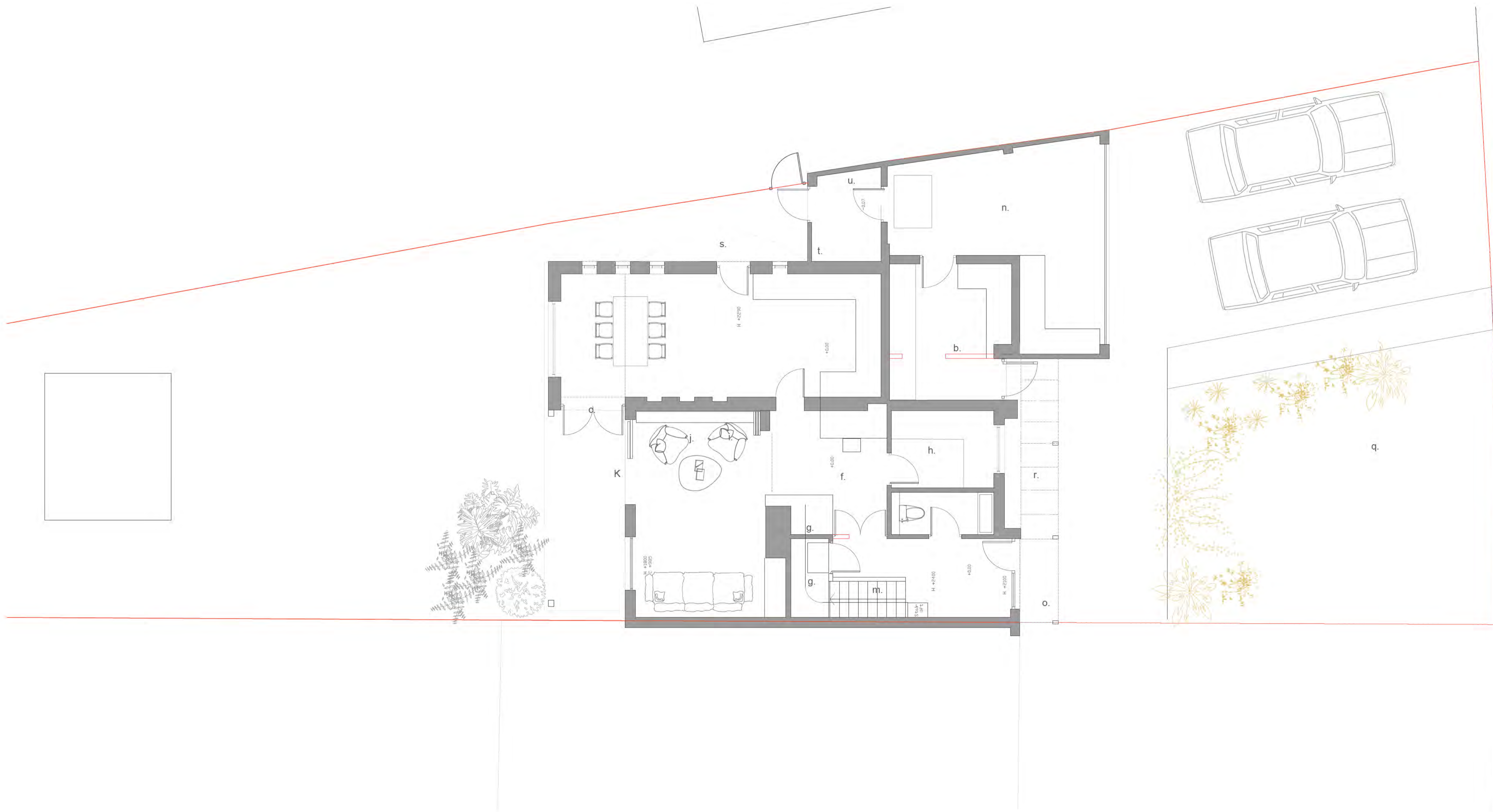
Job No. **219** Proposed First Floor Plan

Stage: Stage 3  
 Status: Preliminary

**021**

REVISION Scale 1:50@A1





- Notes:
- a. Existing lobby retained
  - b. New workshop
  - c. Rooflight over
  - d. Existing canopy
  - e. Enlarged living room area
  - f. New central hallway storage
  - g. Utility room.
  - i. display shelving
  - j. TV area / display
  - k. New sliding door
  - l. New french/ or sliding doors.
  - m. Void over
  - n. garage/store/kayaks etc extended
  - o. New porch/lobby installed
  - p. Grasscrete SUDS paving
  - q. Existing biodiverse garden
  - r. Pergola over
  - s. Canopy above
  - t. New shed below window
  - u. Existing wall retained to form a new storage

- Note:
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters

Key  
 - - - - - Downtakings  
 - - - - - Indicative site boundary - refer to title deed



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 Windows, steelwork, to be site sized.

All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

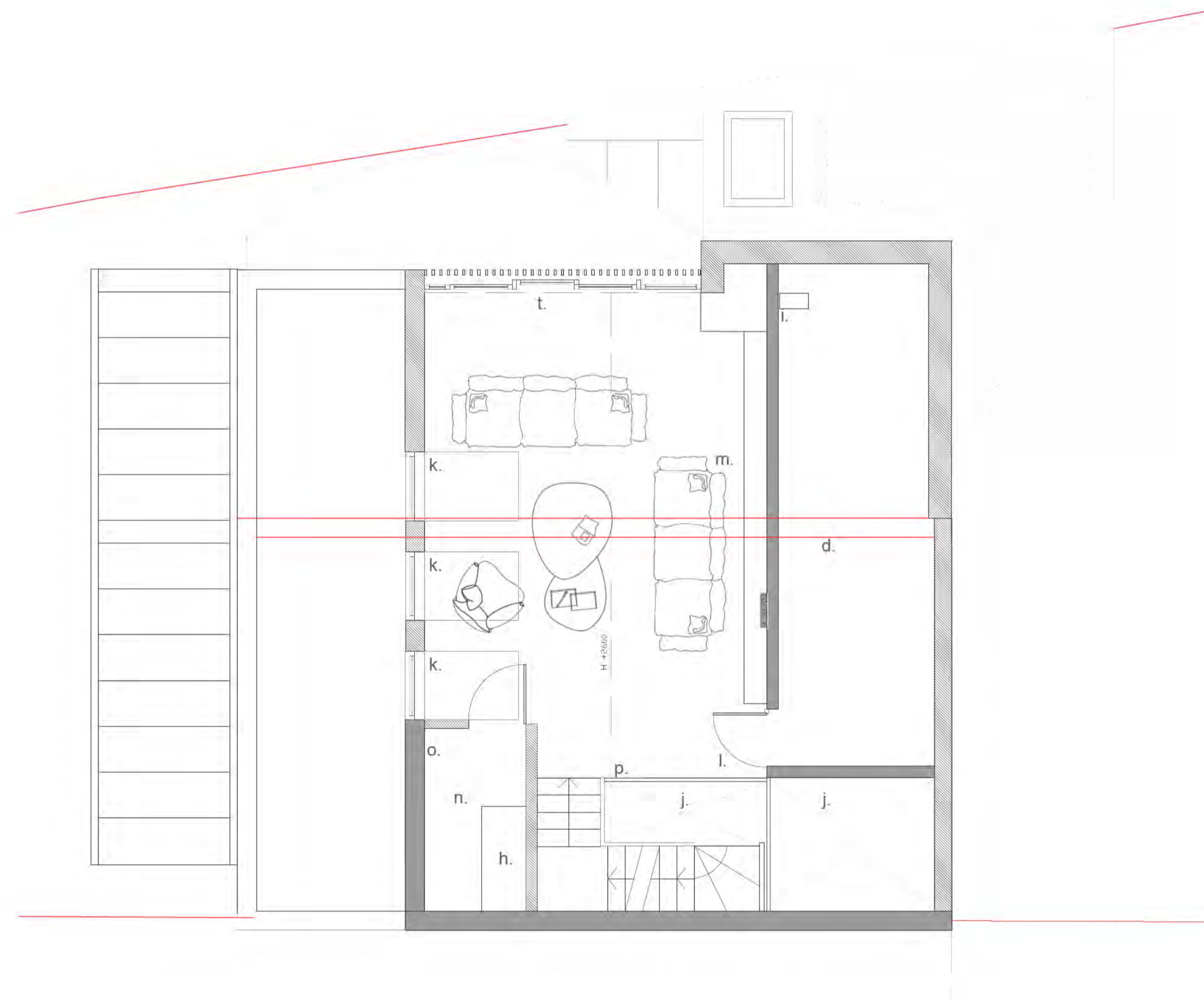
60 Howard Drive

Job No. **219** Proposed Site and Ground Floor Plan

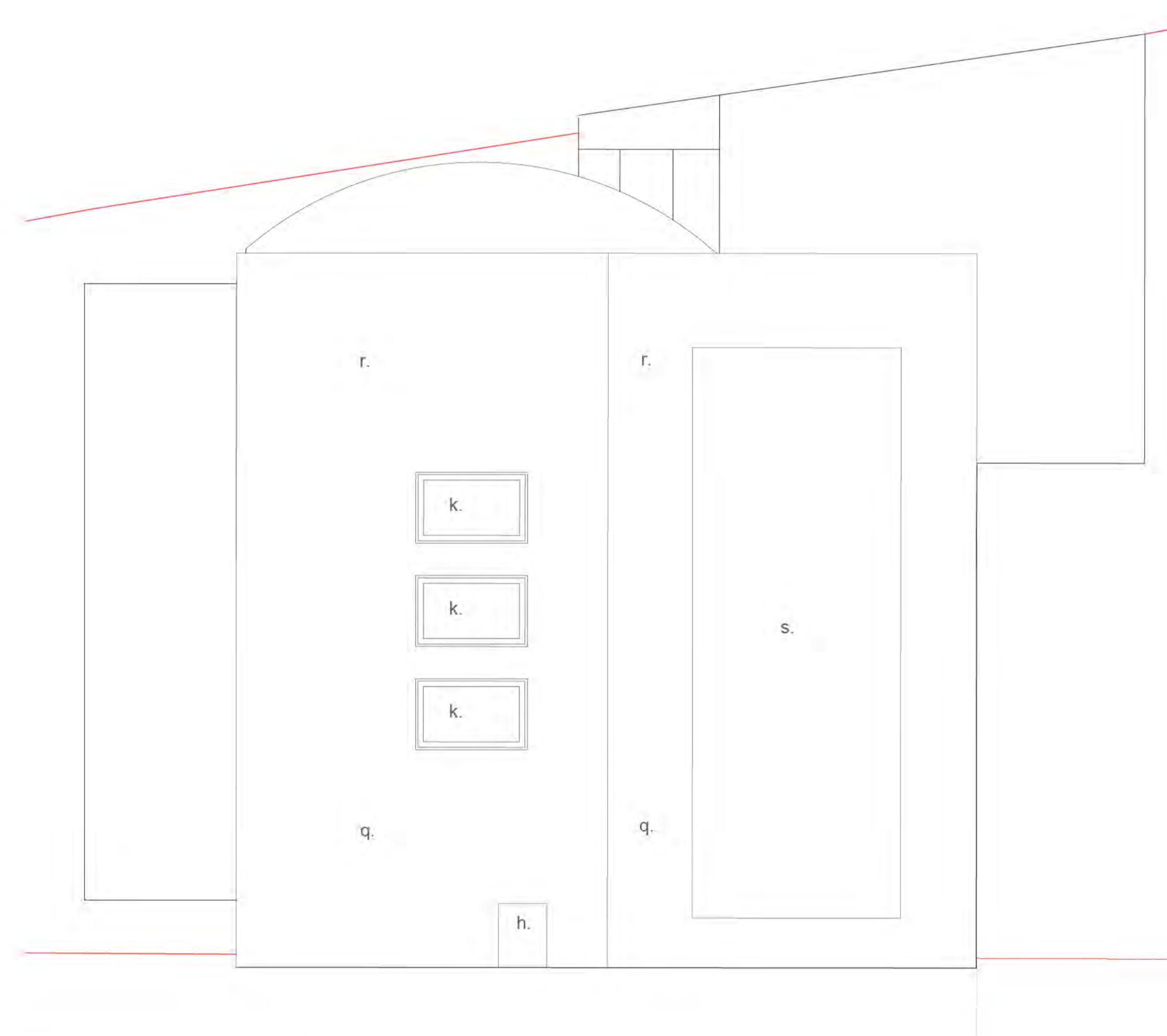
Stage: Stage 3  
 Status: Preliminary

**021**

REVISION: Scale 1:50@A1



Attic Floor Plan As Proposed



Roof Plan As Proposed

Notes:

- a. Rooflight over
- b. Gallery
- c. Potential dormer
- d. Storage area
- e. New stair
- f. Potential ensuite
- g. Existing roof upgraded to a value of 0.11w/m2K
- h. Existing chimney retained
- i. Solar battery module relocated
- j. Void below
- k. New roof window
- l. roof access
- m. Bookshelves
- n. Storage to loft
- o. Water tank
- p. Glazed screen
- q. Existing pitched roof retained
- r. Extended new roof to match existing
- s. Existing solar panes to be extended
- t. New sliding doors with fixed glazing

Note:

- Proposed levels subject to geotechnical studies
- All services and utilities indicative
- Landscaping details to form part of reserved matters
- External materials to form part of reserved matters

Key

- Dwtakings
- Indicative site boundary - refer to title deed



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All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

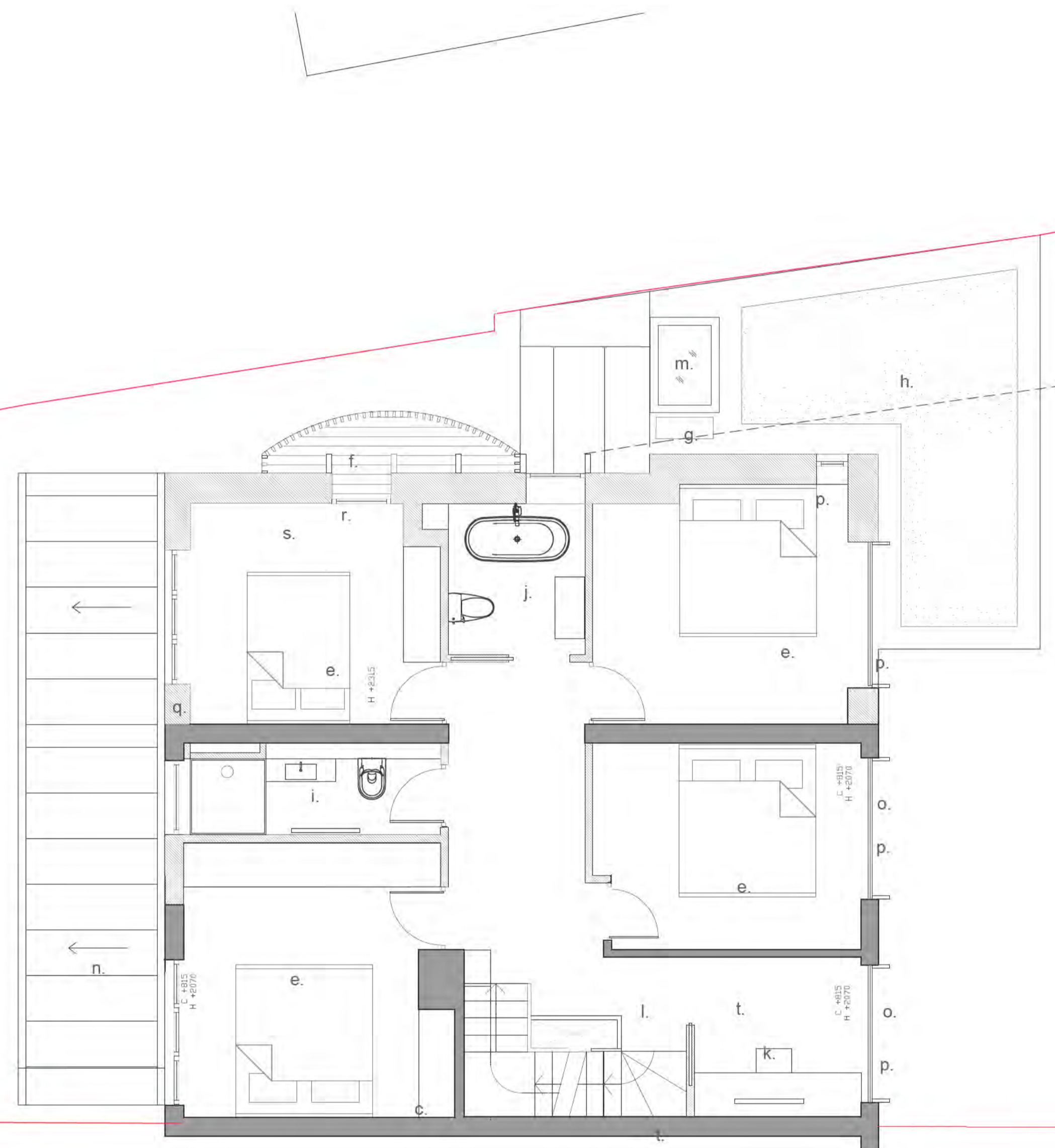
Howard Way

Job No. **219** Proposed Attic Floor and Roof Plans

Stage: Stage 2  
Status: Pre-Application

**022**

REVISION Scale 1:50@A1



- Notes:
- a. Rooflight over
  - b. New canopy
  - c. storage
  - d. Void over
  - e. New bedroom
  - f. Balcony
  - g. ASHP
  - h. New Wildflower roof
  - i. New shower room
  - j. New bathroom
  - k. Craft/art space
  - l. Gallery over
  - m. Rooflight
  - n. Pitched roof below
  - o. Solar blinkers
  - p. Low G glass to new windows
  - q. Low energy timber frame walls
  - r. Balcony
  - s. Sliding doors
  - t. Library hallway

- Note:
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters



Note: This drawing is copyright

Do not scale from this drawing  
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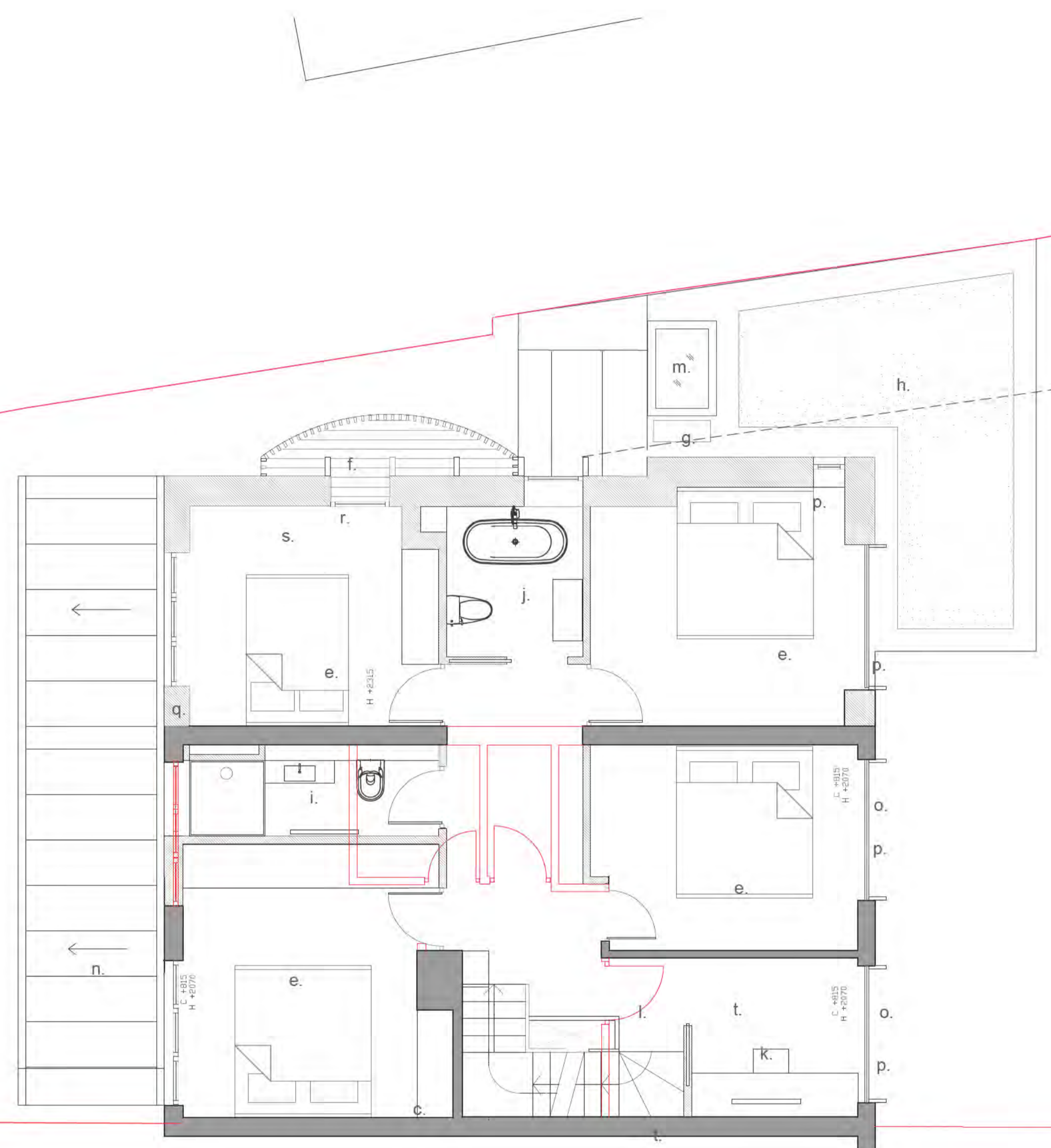
All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive  
 Job No. 219  
 Stage: Stage 3  
 Status: Preliminary

022

REVISION Scale 1:50@A1



- Notes:
- a. Rooflight over
  - b. New canopy
  - c. storage
  - d. Void over
  - e. New bedroom
  - f. Balcony
  - g. ASHP
  - h. New Wildflower roof
  - i. New shower room
  - j. New bathroom
  - k. Craft/art space
  - l. Gallery over
  - m. Rooflight
  - n. Pitched roof below
  - o. Solar blinkers
  - p. Low G glass to new windows
  - q. Low energy timber frame walls
  - r. Balcony
  - s. Sliding doors
  - t. Library hallway

- Note:
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters

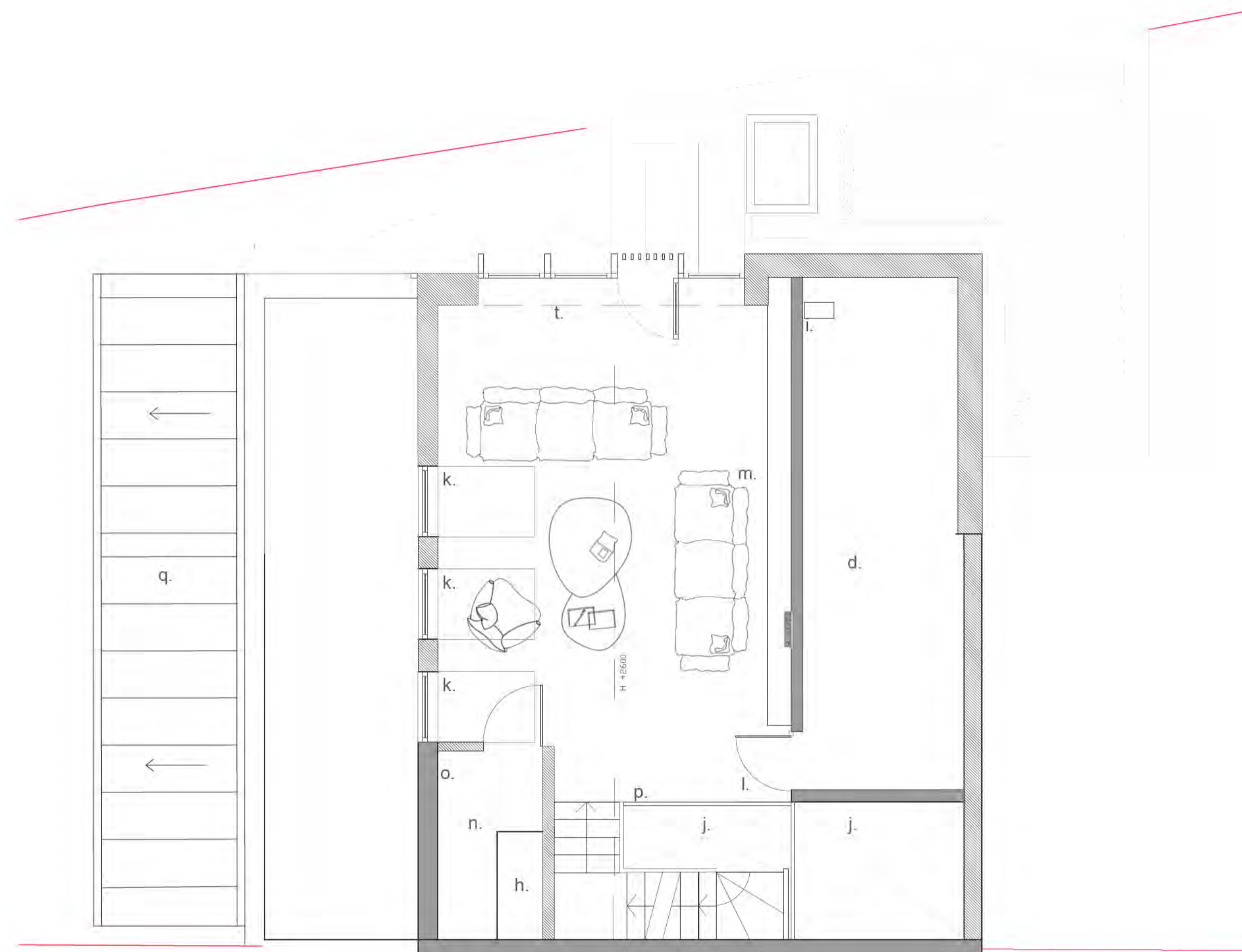
Key  
 — Downtakings  
 — Indicative site boundary - refer to title deed



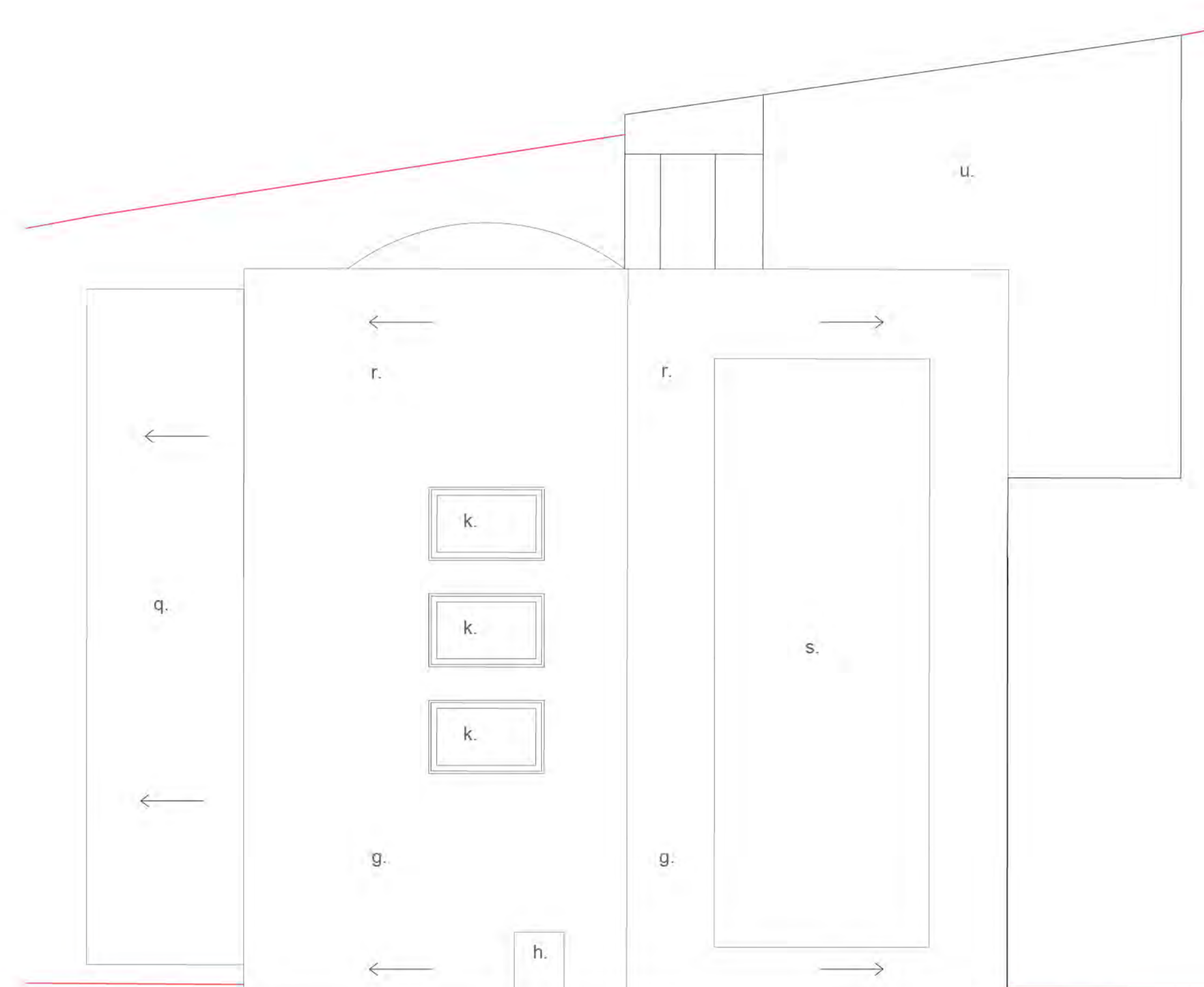
Note: This drawing is copyright  
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 Note: to be read in conjunction with Structural Engineers Information, specification and drawings  
 All setting out dimensions to be checked on site by contractor and any discrepancies to be noted ASAP. Windows, steelwork, to be site sized.  
 All sundry work not shown to be undertaken in accordance with the British Standards.  
 Note: This drawing is not a deed plan.

60 Howard Drive  
 Job No. 219  
 Stage: Stage 3  
 Status: Preliminary

023  
 REVISION: Scale 1:50@A1



Attic Floor Plan As Proposed



Roof Plan As Proposed

Notes:

- a. Rooflight over
- b. Gallery
- c. Potential dormer
- d. Storage area
- e. New stair
- f. Potential ensuite
- g. Existing roof upgraded to a value of 0.11w/m2K
- h. Existing chimney retained
- i. Solar battery module relocated
- j. Void below
- k. New roof window
- l. roof access
- m. Bookshelves
- n. Storage to loft
- o. Water tank
- p. Glazed screen
- q. Existing pitched roof retained
- r. Extended new roof to match existing
- s. Existing solar panes to be extended
- t. New sliding doors with fixed glazing
- u. New Wildflower Roof

Note:

- Proposed levels subject to geotechnical studies
- All services and utilities indicative
- Landscaping details to form part of reserved matters
- External materials to form part of reserved matters

Key

— Indicative site boundary - refer to title deed



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All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

Howard Way

Job No. 219

Stage: Stage 2  
 Status: Pre-Application

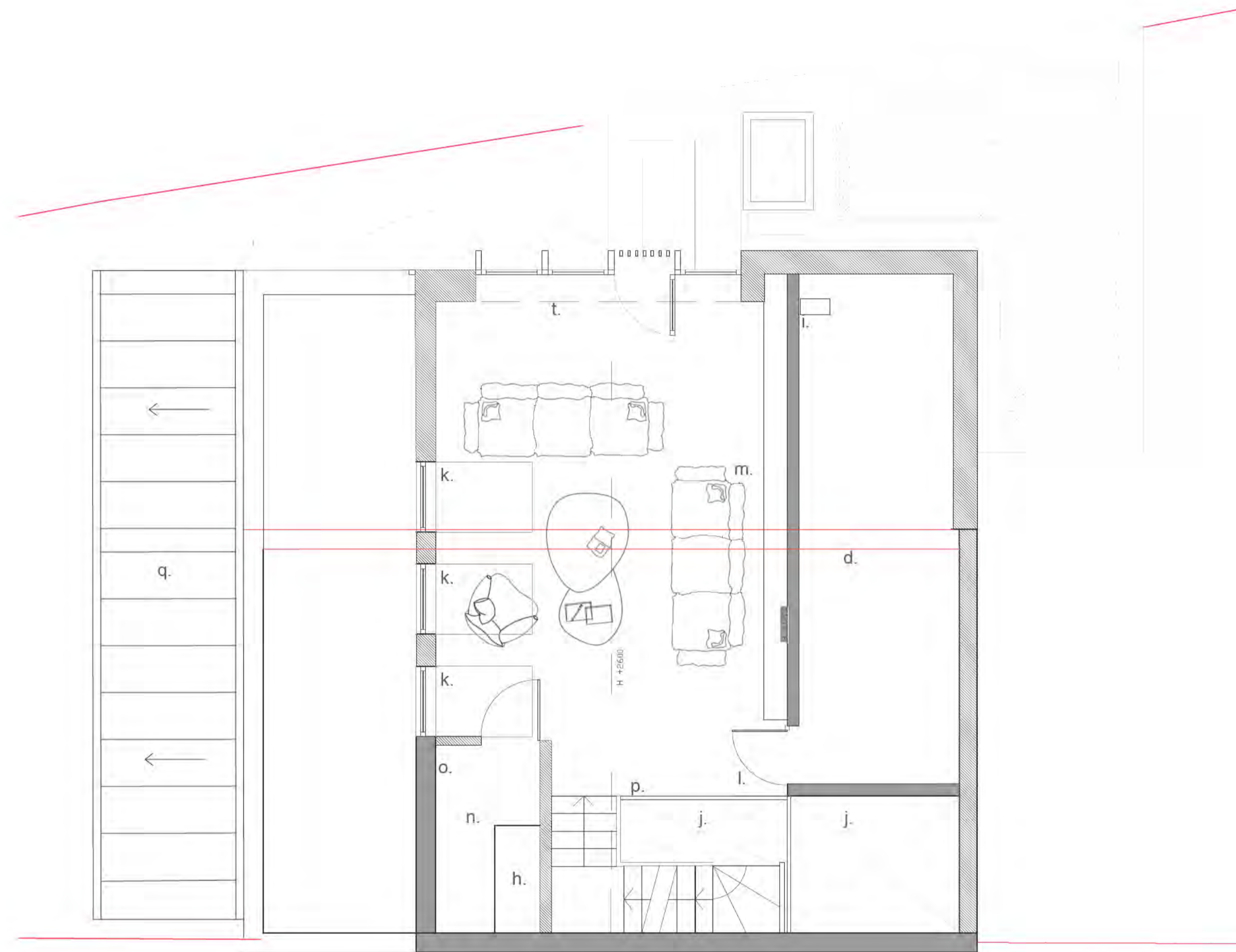
024

REVISION Scale 1:50@A1

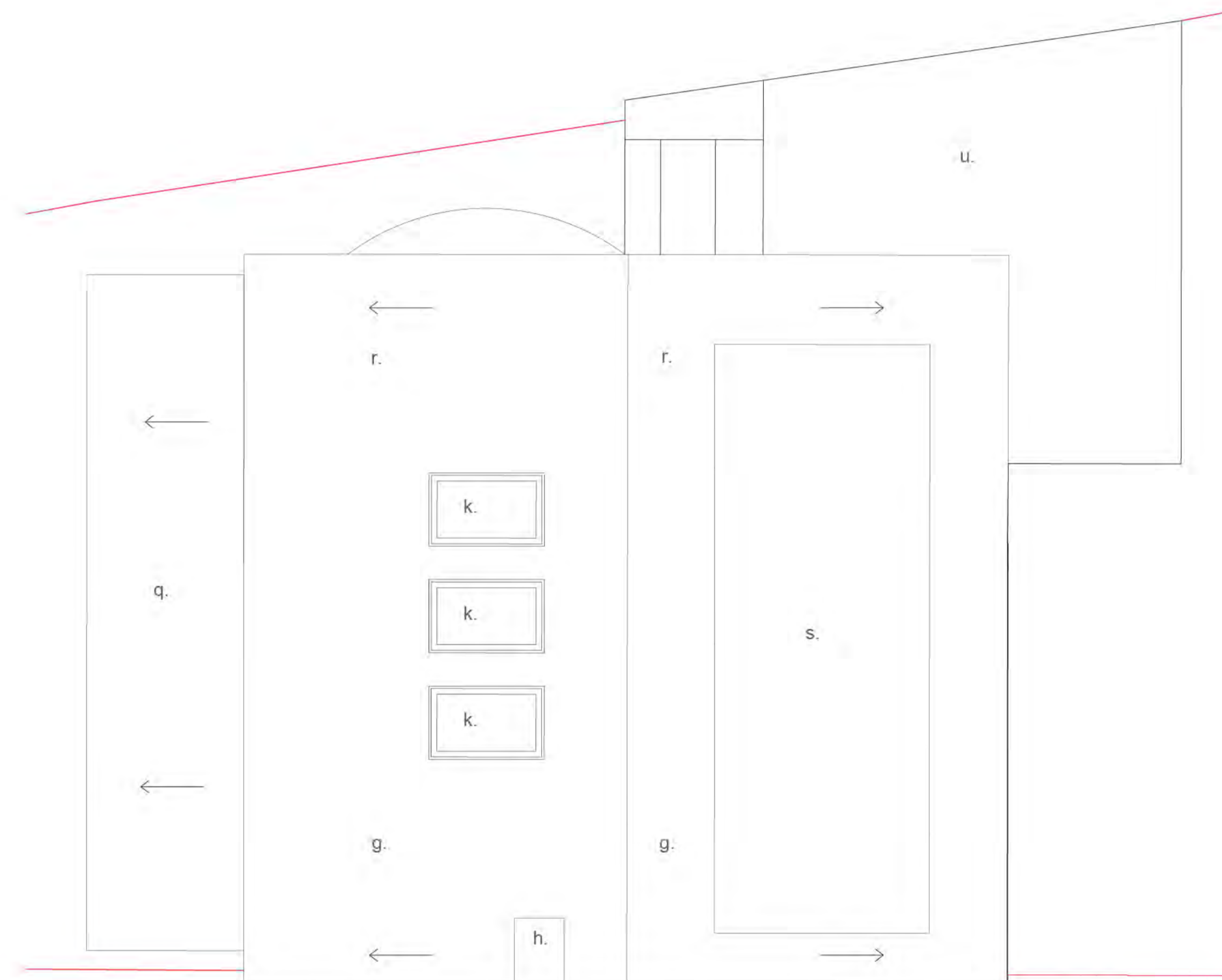
Notes:

- a. Rooflight over
- b. Gallery
- c. Potential dormer
- d. Storage area
- e. New stair
- f. Potential ensuite
- g. Existing roof upgraded to a value of 0.11w/m2K
- h. Existing chimney retained
- i. Solar battery module relocated
- j. Void below
- k. New roof window
- l. roof access
- m. Bookshelves
- n. Storage to loft
- o. Water tank
- p. Glazed screen
- q. Existing pitched roof retained
- r. Extended new roof to match existing
- s. Existing solar panes to be extended
- t. New sliding doors with fixed glazing
- u. New Wildflower Roof

- Note:
- Proposed levels subject to geotechnical studies
  - All services and utilities indicative
  - Landscaping details to form part of reserved matters
  - External materials to form part of reserved matters



Attic Floor Plan As Proposed



Roof Plan As Proposed

- Key
- Downtakings
  - Indicative site boundary - refer to title deed



Note: This drawing is copyright

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Note: This drawing is not a deed plan.

Howard Way

Job No. 219

Stage: Stage 2  
 Status: Pre-Application

025

REVISION Scale 1:50@A1



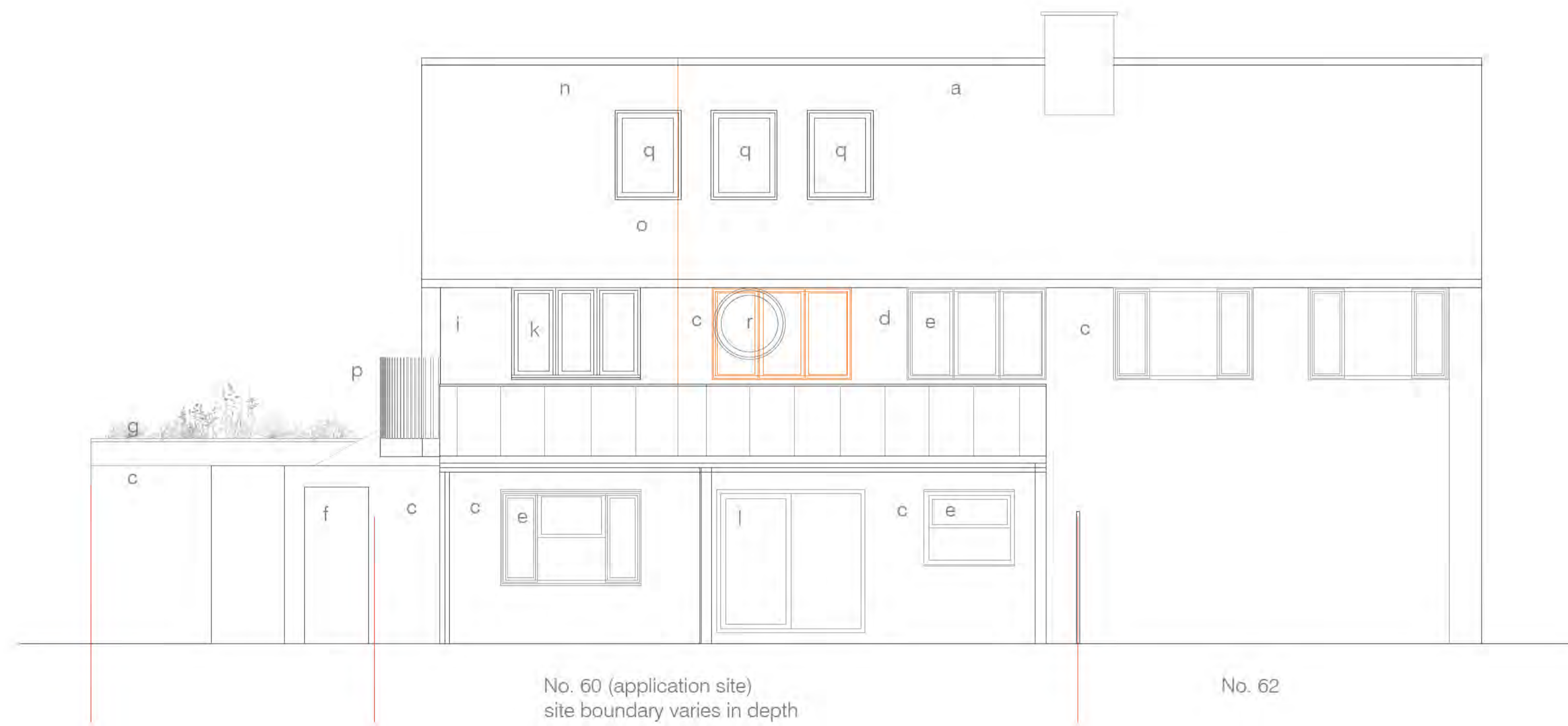
Front Elevation AA as Proposed

Notes:

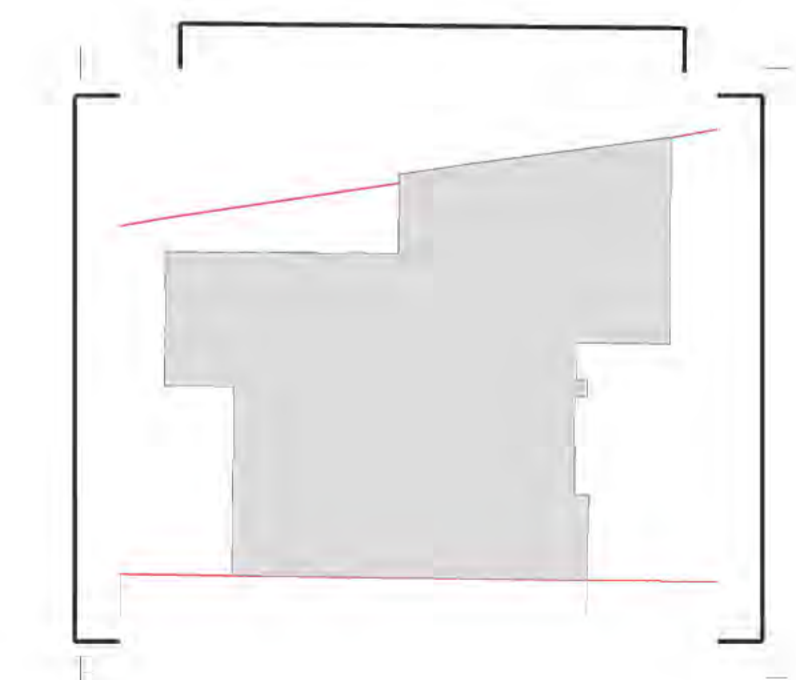
- a. Existing roof retained
- b. Existing solar panels retained
- c. Existing brick wall retained
- d. Existing render wall retained
- e. Existing window retained
- f. Existing door retained
- g. Existing garage with new green sedum flat roof
- h. Existing porch
- i. New timber cladding
- j. New porch/ pergola
- k. New window
- l. New sliding door
- m. New dormer
- n. New extended roof to match existing
- o. New timber cladding
- p. New balcony
- q. New rooflight
- r. New pivot circular window with obscured glass

Note:

- Proposed levels subject to geotechnical studies
- All services and utilities indicative
- Landscaping details to form part of reserved matters
- External materials to form part of reserved matters



Rear Elevation BB as Proposed



Elevation Key Plan Not to scale

- Key
- Downtakings
  - Indicative site boundary - refer to title deed



Note: This drawing is copyright

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Note: This drawing is not a deed plan.

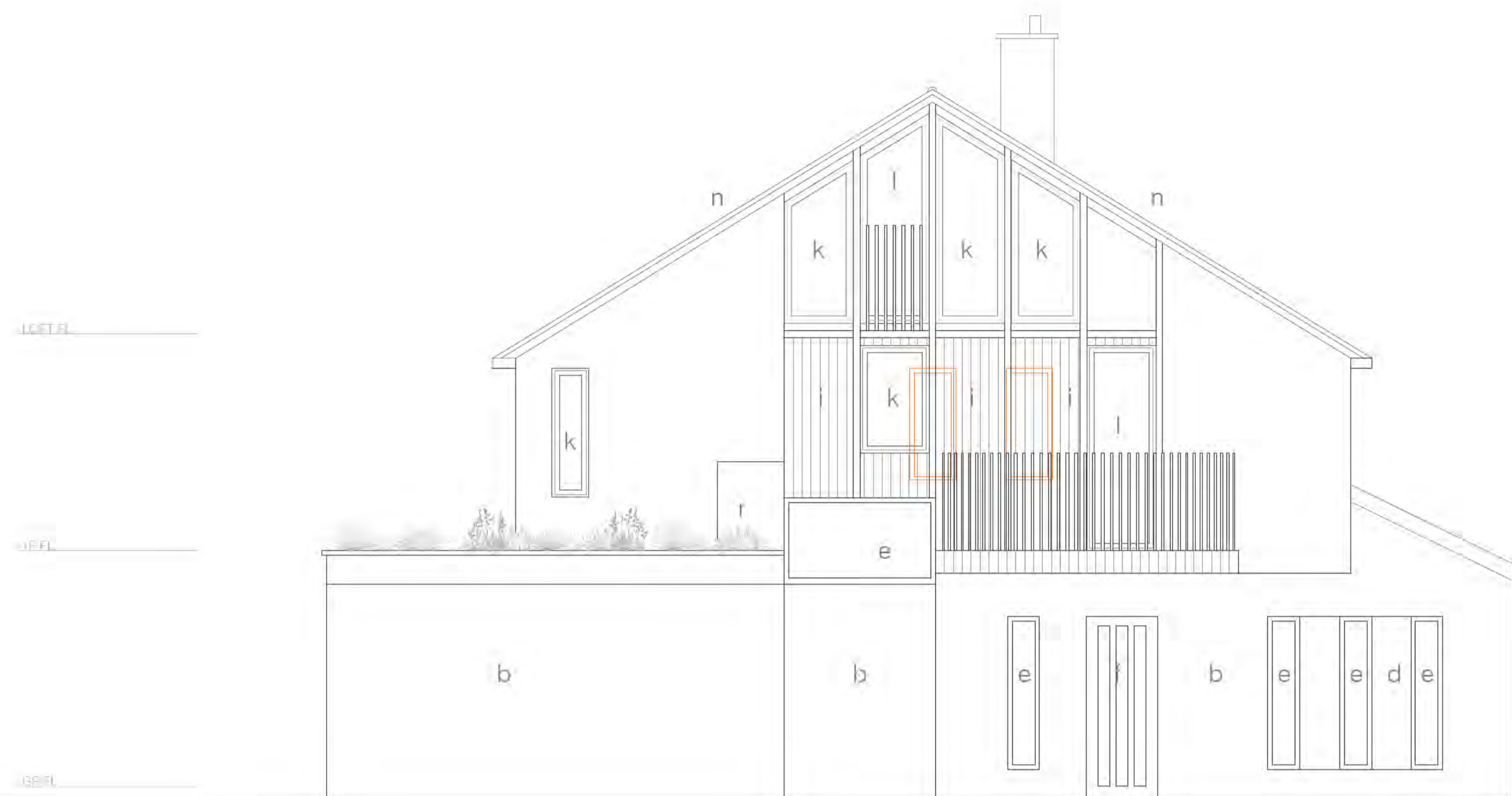
60 Howard Drive

Job No. **219** Proposed Front and Rear Elevations

Stage: Stage 3  
 Status: Preliminary

**026**

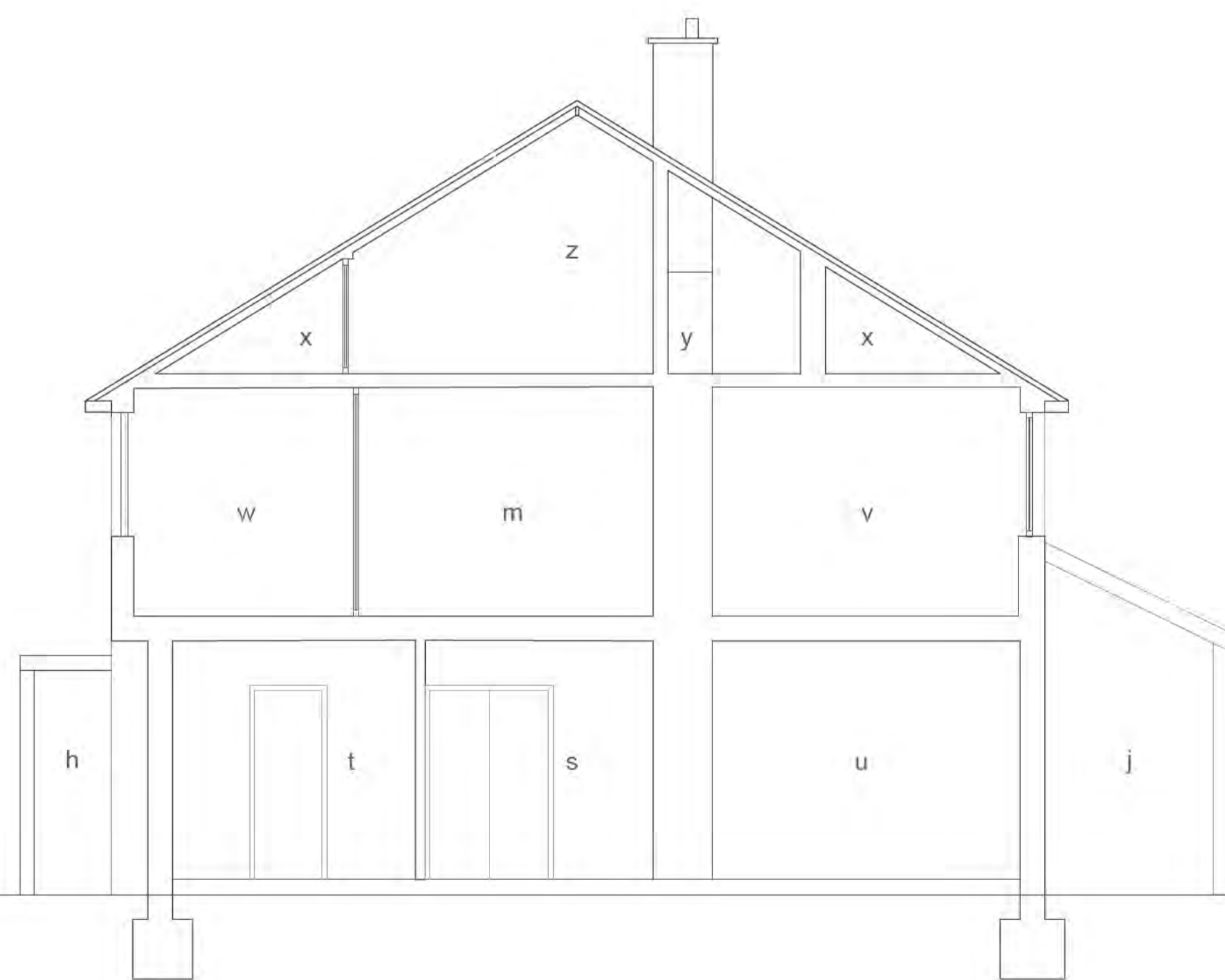
REVISION Scale 1:50@A1



Notes:

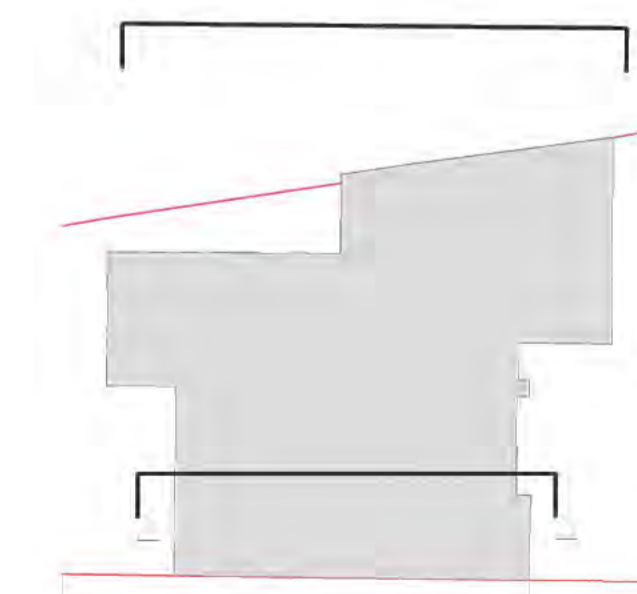
- a. Existing roof retained
- b. Existing solar panels retained
- c. Existing brick wall retained
- d. Existing render wall retained
- e. Existing window retained
- f. Existing door retained
- g. Existing garage with new green sedum flat roof
- h. Existing porch
- i. New Timber Cladding
- j. New porch/ pergola
- k. New window
- l. New glazed door
- m. Gallery over
- n. New extended roof to match existing
- o. New timber cladding
- p. New balcony
- q. New rooflight
- r. New ASHP
- s. New hall space
- t. Existing WC
- u. Living room
- v. New bedroom
- w. Library hallway
- x. Storage area
- y. Existing chimney stack
- z. Extended loft space

Side Elevation C as Proposed



Note:

- Proposed levels subject to geotechnical studies
- All services and utilities indicative
- Landscaping details to form part of reserved matters
- External materials to form part of reserved matters



Elevation Key Plan Not to scale

Section A as Proposed

Key

- Downtakings
- Indicative site boundary - refer to title deed



Note: This drawing is copyright

Do not scale from this drawing  
 Note: to be read in conjunction with Structural Engineers Information, specification and drawings

All setting out dimensions to be checked on site by contractor and any discrepancies to be noted ASAP. Windows, steelwork, to be site sized.

All sundry work not shown to be undertaken in accordance with the British Standards.

Note: This drawing is not a deed plan.

60 Howard Drive

Job No. **219** Section and Elevation Proposed

Stage: Stage 3  
 Status: Planning Application

**027**

REVISION Scale 1:100@A1